

APPROVED

By Craig Dryden at 2:10 pm, Jul 05, 2019

Roof:
GREY SLATE

FIRST FLOOR:
WHITE THROUGH COLOURED
RENDER.

GROUND FLOOR:
STONE TO MATCH ADJACENT PROPERTIES



WEST ELEVATION



BARN

NORTH ELEVATION

Elevations - 1
PROPOSED DWELLING at HOLY VALE

DO NOT SCALE
FROM THIS DRAWING
client
Emily and Eldred Banfield
project
Holy Vale
1.0.5
scale
1:100
sheet size
A3
date
27 June 2018
drawing title
elevations
sheet 1
HV-P-04

1:100 @ A3 0 1 2 3 4 5m

Design Consultants: Tom Fooks

Bat Survey Action Plan – To support CMP

The report from the bat emergence and re-entry surveys carried out by Darren Mason and Darren Hart from the Isles of Scilly Wildlife Trust details that *“In the professional opinion of the author no further surveys are required. The justification for this is; BCT guidance suggests that for buildings with medium roost potential a single dusk emergence with a separate dawn re-entry survey should be carried out to provide sufficient evidence to support the PRA that bat roosts are likely absent. The surveys carried out to date meet the guidance, are proportionate to the scale of the development and the information provided is sufficient to inform the planning decision.”*

However, during the demolition and build there are several actions which have been outlined within the report that we will follow, detailed below:

- i. Ensure all workers on site (including sub-contractors) are made familiar with bat legislation and agree to work in accordance with and fully follow best practice measures
- ii. Carry out prior to demolition careful checks of any cracks/crevices and cavities in or on the building. Signs of usage include; bat droppings, dis-colouration or polishing of access points where bats rub against them, urine stains and a lack of cobwebs, particularly if other crevices around them have plenty.
- iii. Individual bats may be found in/under; cladding, between timber boards, between corrugated sheeting, in soffit boxes, behind lead flashing and sometimes just clinging to timber beams around joins as well as others areas. When any of these are removed, please do so carefully, lifting outwardly, and checking for bats continually. If in doubt, consult a licensed bat worker.
- iv. Try to minimise any dust generated from demolition works from entering off-site buildings and gardens.
- v. In the unlikely event that a bat is found please see below:
 1. At no point should a worker handle a bat. Untrained handling may cause undue stress and injury to the bat, and if bitten may expose the worker to rabies-related European Bat Lyssavirus
 2. Where possible replace any covering without damaging the bat, then halt works and contact Natural England (Tel: 0845 601 4523), or the Bat Conservation Trust Helpline (0845 1300 228), or IoSWT (01720 422153) for advice.
 3. Any bats that go to ground should be covered with a box and left alone until a licensed bat worker arrives to assess the condition of the bat
 4. If the bat attempts to fly at any point allow it to do so. Preventing natural behavior will cause unnecessary stress and may cause injury. Attempt to see where bat goes. If the bat returns to the building, halt works and report the escaped bat to the local bat worker

Also detailed within the report are recommendations of further steps that can be taken to support the species in the future to enhance biodiversity, we will follow point iv below in our build:

“Alternative to the roof in-line roof tiles the erection of 3 free-standing bat boxes developed for crevice-dwelling species (see figure 3 for example and Appendix D for supplier details). Erect these on three aspects (north, south and west) of the house at a height of 4 -6m”

Please follow this link for examples of these:

https://www.nhbs.com/browse/search?q=bat%20boxes&hPP=30&idx=titles&p=0&is_v=1&qtvview=158636

Holy Vale Winery

Proposed Dwelling

Shallow dig
Rainwater Harvesting
tank

2 parking spaces

existing block built
implement store
taken down

Holy Vale
Farmhouse

11.6m

North Tinks

Proposed Septic
Tank connected to
existing soakaway

Middle Tinks Cottage

APPROVED

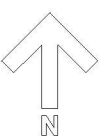
By Craig Dryden at 2:15 pm, Jul 05, 2019

REV A:
14 November 2018
Red line amended. OS licence reference added

emapsite reference: 473214_626461_OS_Mastermap

1:200 @ A3

0 2 4 6 8 10m



Block Plan
PROPOSED DWELLING - HOLY VALE

DO NOT SCALE
FROM THIS DRAWING

client
Emily and Eldred Banfield

project
Holy Vale
I.O.S

scale
1:200

sheet size
A3

date
27 June 2018

drawing title
Block Plan

HV-P-02

A

Construction Management Plan

Hours of Operation:

In accordance with the Residential Noise Regulations there will be limited noise Monday to Friday before 7 am or after 8 pm and weekends and public holidays before 9 am or after 8 pm. With heavy machinery being used only from 8am to 5pm Monday to Friday (excluding bank holidays).

Parking for Site Operatives and Visitors:

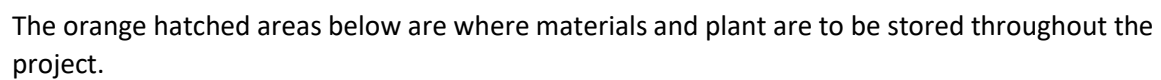
Please see green hatched area below for operative and visitor parking. Access is granted between North Tinks and Middle Tinks Cottage already.



Area for Site Operatives' Facilities:

Site Operatives will have access to the facilities in Middle Tinks Cottage throughout the build.

The parking for delivery vehicles is indicated by the green hatching below and turning area indicated by the blue.



Proposed Dwelling

Existing trees & box hedging to remain (IN GREEN)

Dead appletree stump - to be removed

2 parking spaces



APPROVED

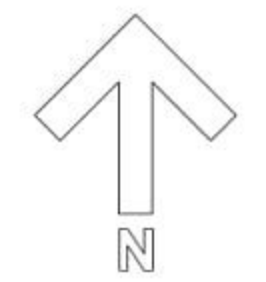
By Craig Dryden at 2:18 pm, Jul 05, 2019



Location Plan
PROPOSED DWELLING - HOLY VALE

DO NOT SCALE FROM THIS DRAWING	
client	Emily and Eldred Banfield
project	Proposed dwelling Holy Vale, I.O.S
scale	1:1250
sheet size	A3
date	14 November 2018
drawing title	Location Plan
HV-P-101	

APPROVED
By Craig Dryden at 2:16 pm, Jul 05, 2019



1:1250 @ A3
0| 10| 20| 30| 40| 50| 60m

APPROVED

By Craig Dryden at 2:10 pm, Jul 05, 2019

Roof:
GREY SLATE

First Floor:
WHITE THROUGH COLOURED
RENDER.

GROUND FLOOR:
STONE TO MATCH ADJACENT PROPERTIES



WEST ELEVATION



BARN

NORTH ELEVATION

Elevations - 1
PROPOSED DWELLING at HOLY VALE

DO NOT SCALE
FROM THIS DRAWING
client
Emily and Eldred Banfield
project
Holy Vale
1.0.5
scale
1:100
sheet size
A3
date
27 June 2018
drawing title
elevations
sheet 1
HV-P-04

1:100 @ A3 0 1 2 3 4 5m

Design Consultants: Tom Fooks

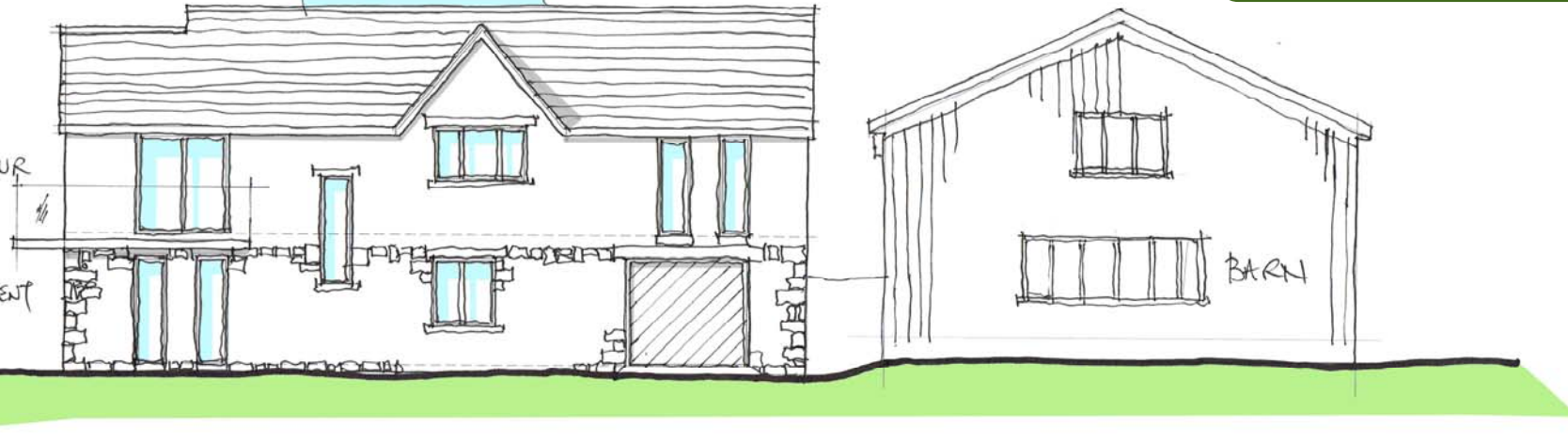
APPROVED

By Craig Dryden at 2:11 pm, Jul 05, 2019

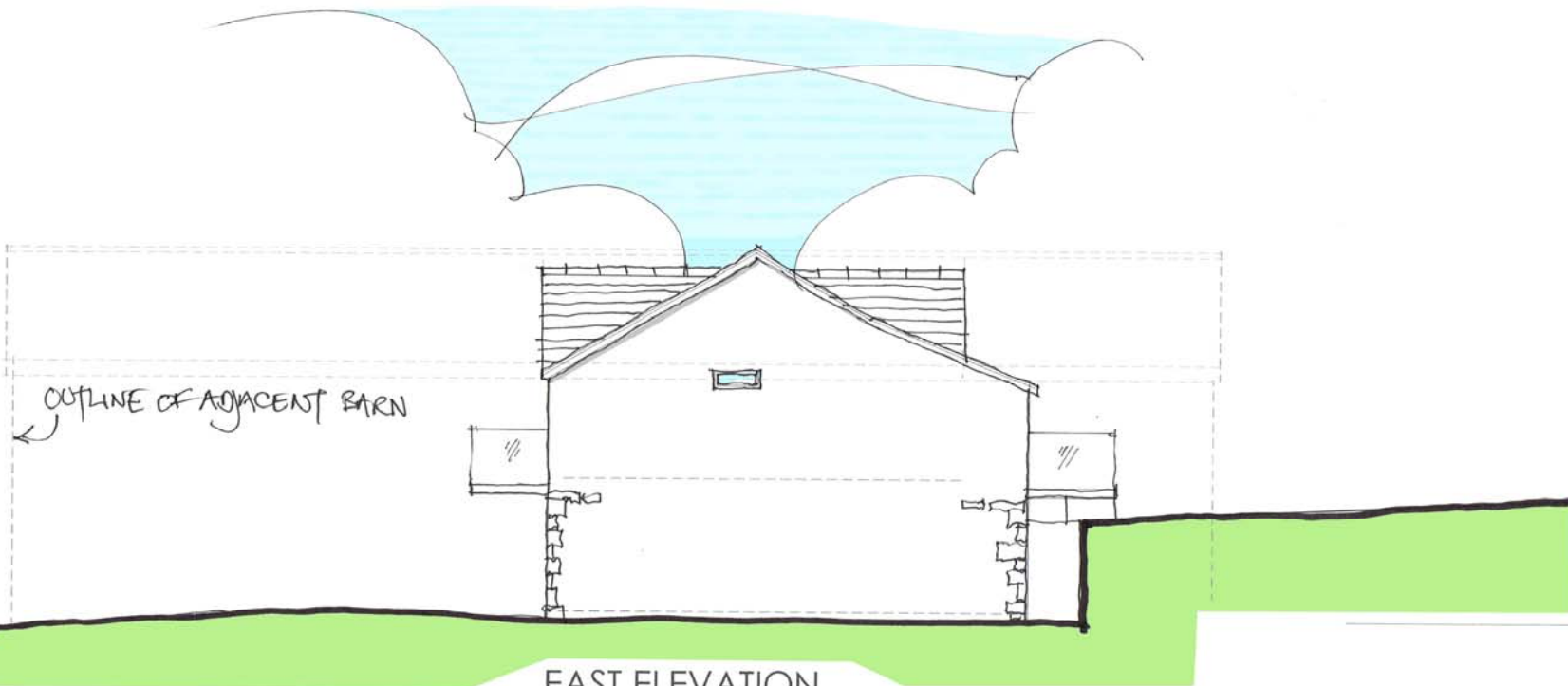
Gray slate

White
through-colour
render

stone to
match adjacent
dwellings



SOUTH ELEVATION



EAST ELEVATION

Elevations - 2
PROPOSED DWELLING at HOLY VALE

DO NOT SCALE
FROM THIS DRAWING

client
Emily and Eldred Banfield

project
Holy Vale
I.O.S

scale
1:100

sheet size
A3

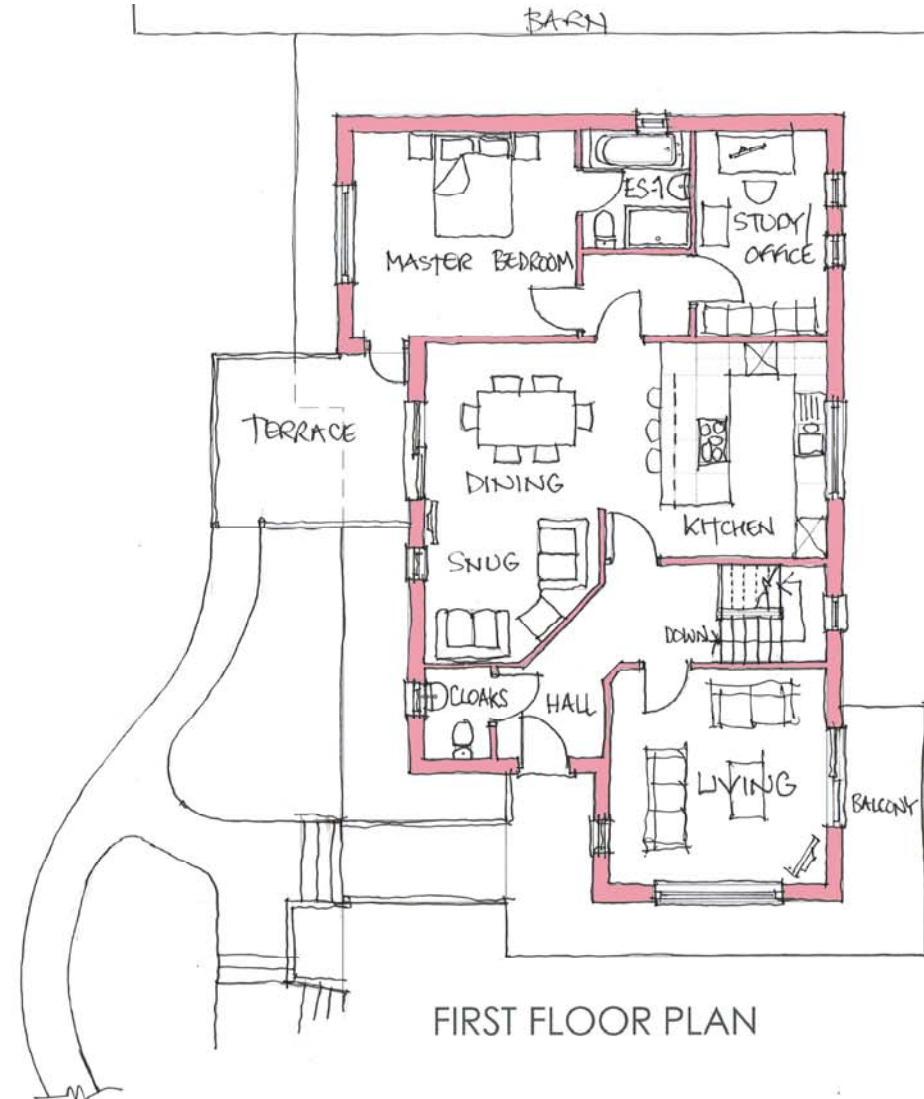
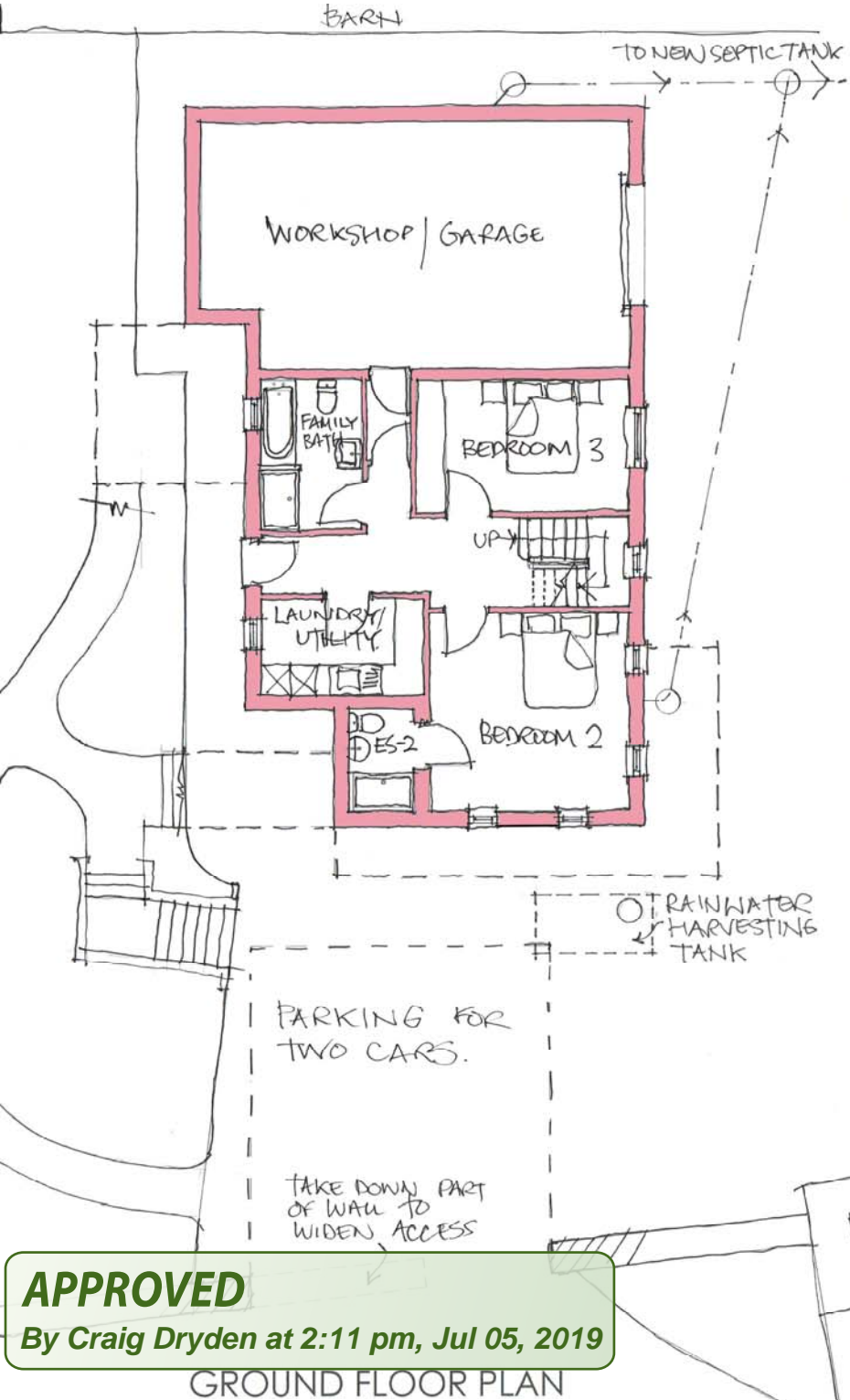
date
27 June 2018

drawing title
elevations
sheet 2

HV-P-06

Design Consultant: Tom Frenke

1:100 @ A3 0 1 2 3 4 5m



Floor Plans
PROPOSED DWELLING at HOLY VALE

DO NOT SCALE FROM THIS DRAWING

client
Emily and Eldred Banfield

project
proposed dwelling
Holy Vale, I.O.S

scale
1:100 A3

date
27 June 2018

drawing title
floor plans

HV-P-03

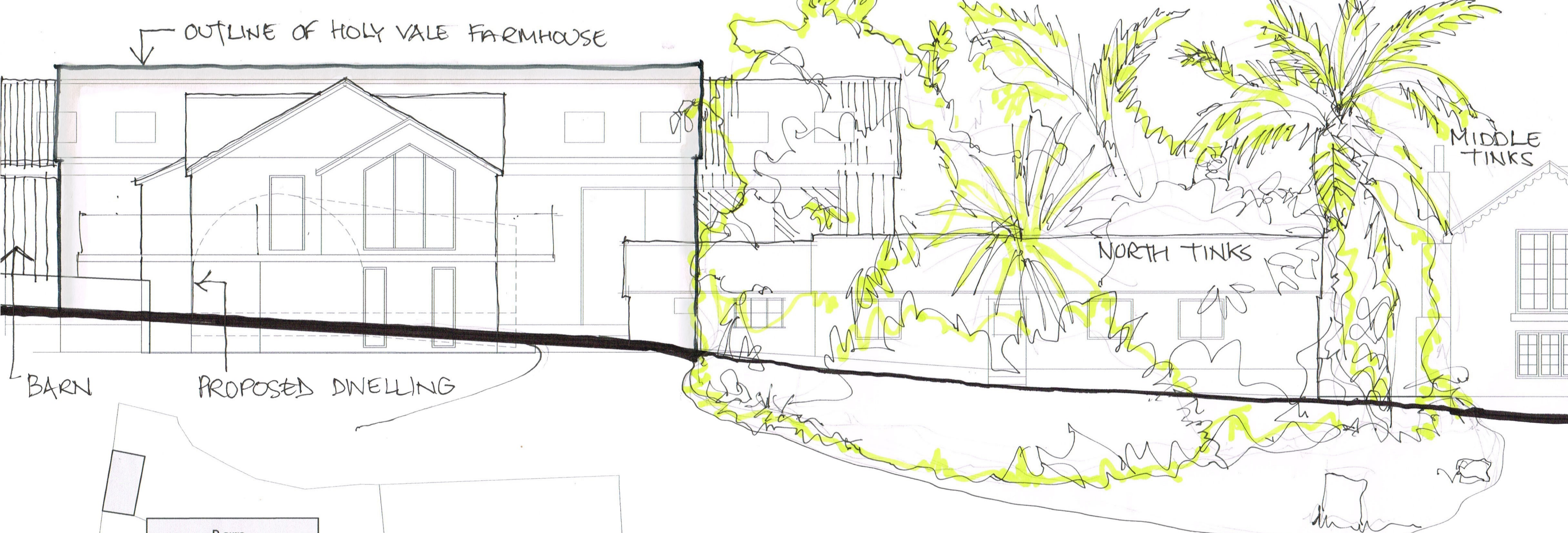
Design Consultant: Tom Frenkel

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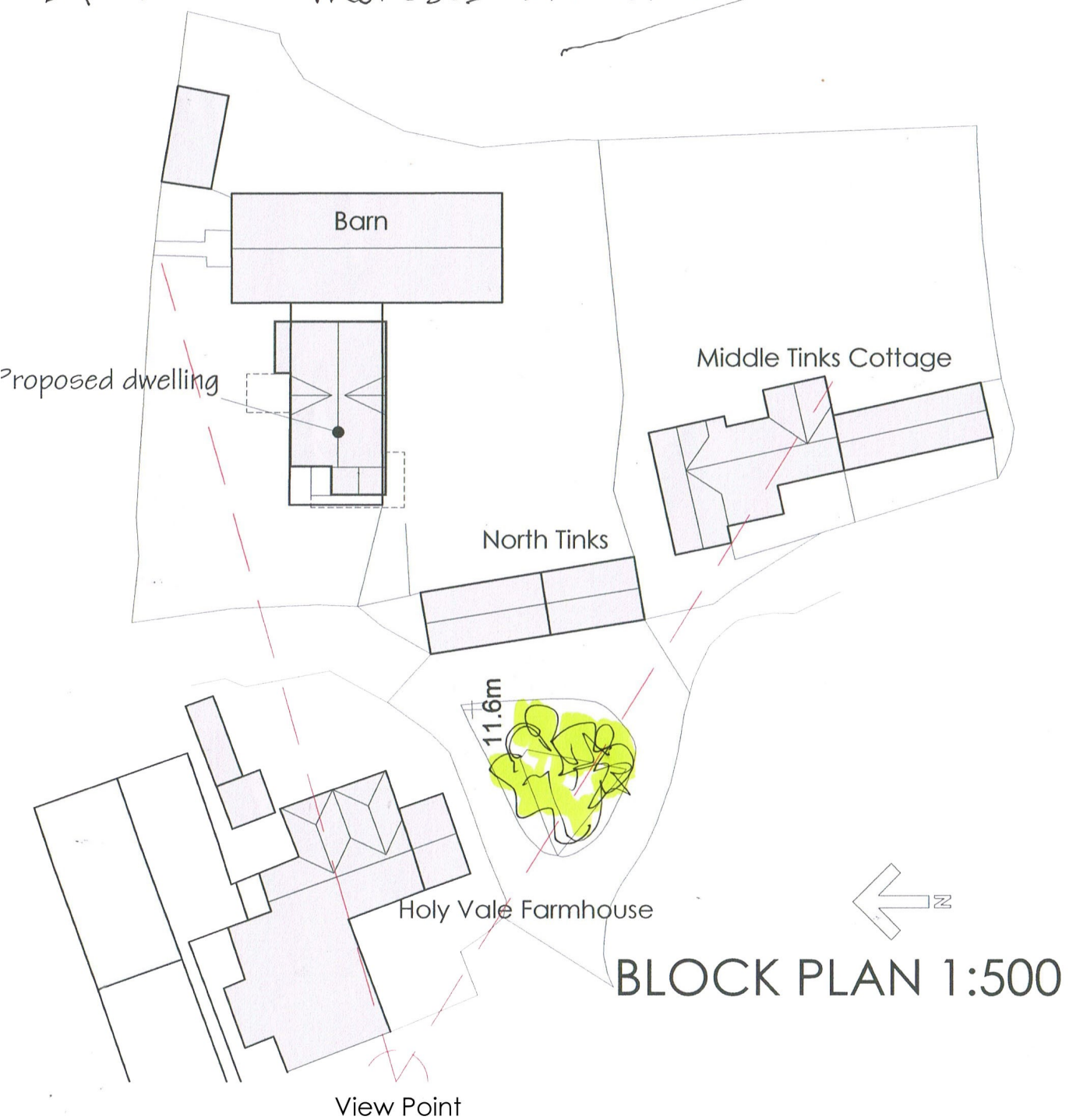
APPROVED

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TYPICAL STREET VIEW GOING DOWN HOLY VALE 1:100

APPROVED
By Craig Dryden at 2:15 pm, Jul 05, 2019



Holy Vale street view

DO NOT SCALE FROM THIS DRAWING	
client	Emily and Eldred Banfield
project	Holy Vale I.O.S
scale	1:100
sheet size	A3
date	7 August 2018
drawing title	street view

HV-P-05

1:100 @ A3 0 1 2 3 4 5m

Design Consultant: Tom Freak


PROJECT WASTE MANAGEMENT PLAN**Implement Shed Holy Vale****1. PROJECT SCOPE**

Description & scope of the project (not the scope of the waste) Include: <ul style="list-style-type: none">• What?• Where?• How?	Demolition of current implement shed for erection of a new dwelling.
Anticipated date when waste arisings will start	January 2019

2. PROJECT WASTE MANAGEMENT PLAN ENDORSEMENT

Document author	Print Name: Emily Banfield Signature: EJBanfield Date: 13/11/18
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3. WASTE FORECAST

Waste description	Volume- total for project (m3)	Waste route	Issues															
<i>The material(s). Unless obvious, state if not a solid.</i>	<i>Initial best estimate & updated as info improves.</i>	<i>Specify the route or possible routes.</i>	<i>Identify any actions, issues, opportunities, warnings or other helpful information.</i>															
Corrugated Fibre Cement Roof Boards	The full roof = 120m ² so volume = 0.72m ³	Bagged up into individual sealed bags in a lockable skip. Shipped to the mainland by boat to be disposed of at a licensed facility e.g. CAR Bodmin www.alpinebodmin.com	Potential Asbestos so specific clothing needed and specialised shipping method required. Please see additional asbestos report for further details.															
Existing Concrete Block work	10m ³	To be crushed on site and be reused as hardcore using: Mini-Crusher  <table border="1"><thead><tr><th></th><th>First 24hrs</th><th>Next 24hrs</th><th>Weekend</th><th>Week</th></tr></thead><tbody><tr><td>exc. VAT</td><td>£343.00</td><td>£171.50</td><td>£486.20</td><td>£586.00</td></tr><tr><td>inc. VAT</td><td>£411.60</td><td>£205.80</td><td>£576.24</td><td>£693.20</td></tr></tbody></table>		First 24hrs	Next 24hrs	Weekend	Week	exc. VAT	£343.00	£171.50	£486.20	£586.00	inc. VAT	£411.60	£205.80	£576.24	£693.20	Source company with a crusher – hopefully locally.
	First 24hrs	Next 24hrs	Weekend	Week														
exc. VAT	£343.00	£171.50	£486.20	£586.00														
inc. VAT	£411.60	£205.80	£576.24	£693.20														
Excavated Material	Minimal as excavation has already occurred for existence of the barn. The floor levels of the new build are very similar to the current flooring levels.	Topsoil to be disposed of in existing family field for gardening purposes. Backfilling of retaining wall using miscellaneous excavated material from the footings dig.	None															

Sustainable Design Measures

In the construction of the new-build at Holy Vale the following design measures will be implemented.

Water Conservation and Harvesting:

1500L Underground rainwater harvesting tank kit (or similar) to be dug into the existing back garden (North of house).

<https://www.tanks-direct.co.uk/underground-rainwater-garden-harvest-tank-1500-kit.html>

Renewable Energy Generation:

Nu-heat Amethyst Air source heat pump & under floor heating.

<https://www.nu-heat.co.uk/>

We are also considering thermal solar panels on the south facing roof for hot water, but haven't yet confirmed make or model.

<https://www.thegreenage.co.uk/article/how-do-evacuated-tube-solar-thermal-hot-water-systems-work/>