



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, The Parade, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990

Town and Country Planning (Development Management Procedure) Order 2010

PERMISSION FOR DEVELOPMENT

Application No:	P/19/061/HH	Date Application Registered:	21st November 2019
Applicant:	Mr James Squire The Holt Rams Valley Hugh Town St Mary's Isles Of Scilly TR21 0JX	Agent:	Mr Paul Osborne Jus Limin Carn Thomas Hugh Town St Mary's Isles Of Scilly TR21 0PT

Site Address: The Holt Rams Valley Hugh Town St Mary's Isles of Scilly
Proposal: Amendment to existing accommodation. New balcony fence. Rear door with stair access to first floor.

In pursuance of their powers under the above act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- **Location Plan date stamped 21st November 2019;**
 - **Site Plan date stamped 21st November 2019;**
 - **Proposed Alterations, Drawing Number: H-PA-1a, date stamped 21st November 2019;**
 - **Site Waste Management Plan for the Holt, Rams Valley, date stamped 21st November 2019;**
 - **Sustainable Design Measures for the Holt, Rams Valley, dated 21/01/2020.**

These are stamped as APPROVED

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Listed Building and Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy 1 of the Isles of Scilly Local Plan 2005.

- C3 Within 28 days of the completion of the development, hereby approved, the x1 bat box and x1 bird box, as set out in the application details (letter dated 22/01/2020,**

email of 27/01/2020 and plan) shall be installed and be retained as approved thereafter.

Reason: To promote measures to improve and awareness of the value of biodiversity on the Isles of Scilly and in accordance with the requirements of Policy 1 of the Isles of Scilly Local Plan 2005 and Policies SS1(d) and SS2(g) of the Submission Draft Isles of Scilly Local Plan 2015-2030.

C4 The alterations to the property, hereby permitted, shall not result in any sub-division of this as a single dwelling and no element shall be occupied at any time as a separate dwelling including holiday letting purposes. Any such change of use should be subject to a further application for planning permission.

Reason: To ensure that the development hereby permitted is occupied only as a single dwelling as specified in the application. In accordance with Policy 3 of the adopted Isles of Scilly Local Plan (2005) and Policy LC9 of the Submission Draft Isles of Scilly Local Plan (2015-2030).

C5 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any order revoking or re-enacting that Order) there shall be no external lighting installed as part of the implementation of the works, hereby approved, without formal approval in writing by the Local Planning Authority. For the implementation of this permission any details can be submitted under a discharge of this condition. Details should include precise specification of all external lighting to be installed, including details of its siting, position, design, orientation and maximum level of illumination.

Reason: To safeguard the visual amenity, landscape character and dark night sky of the Conservation Area and Area of Outstanding Natural Beauty in accordance with Policy 1 of the Isles of Scilly Local Plan 2005 and Policy OE4 of the Isles of Scilly Draft Local Plan 2015-2030.

C6 All works involving machinery required in connection with the implementation of this permission shall be restricted to between 0800 and 1800 hours Monday to Saturdays. There shall be no works involving machinery on a Sunday or Public or Bank Holiday.

Reason: In the interests of protecting the residential amenities of neighbouring properties.

Removal of Permitted Development Rights

C7 Notwithstanding the provisions of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no extensions (Class A), alterations to the roof (Class B and Class C), Porches (Class D), curtilage buildings (Class E), to the dwelling hereby permitted shall be erected without the prior permission, in writing, of the Local Planning Authority.

Reason: To control any subsequent enlargements in the interests of the visual and residential amenities of the locality and in the interests of the affordability of the dwelling and the local housing stock.

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2019.
2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment (for which a fee of £34 would be required) or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any

proposed amendments with the Planning Officer.

3. In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. The fee is £34 for each request to discharge conditions(s). The fee is payable for each individual request made to the Local Planning Authority.

Signed

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke at the end.

Senior Manager: Infrastructure and Planning

DATE OF ISSUE: 28/1/2020



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎01720 424455
✉planning@scilly.gov.uk

Dear Mr James Squire,

Please sign and complete this certificate.

This is to certify that decision notice: P/19/061/HH and the accompanying conditions have been read and understood by the applicant: Mr James Squire.

- Development of the approved plans:** Amendment to existing accommodation. New balcony fence. Rear door with stair access to first floor at: The Holt Rams Valley Hugh Town St Mary's Isles of Scilly will commence **on:** (insert date)
- ~~I am/we are aware of any conditions that need to be discharged before works commence.~~
- ~~I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.~~

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.

APPROVED

By Craig Dryden at 11:40 am, Jan 29, 2020

Location Plan for The HOLT



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0m 20m 40m 60m 80m 100m

Scale: 1:1250, paper size: A4

The HOLT
Location Plan

The Holt
Rams Valley
St. Mary's
Isles of Scilly
TR21 0JX

RECEIVED BY THE
PLANNING DEPARTMENT
21 NOV 2019



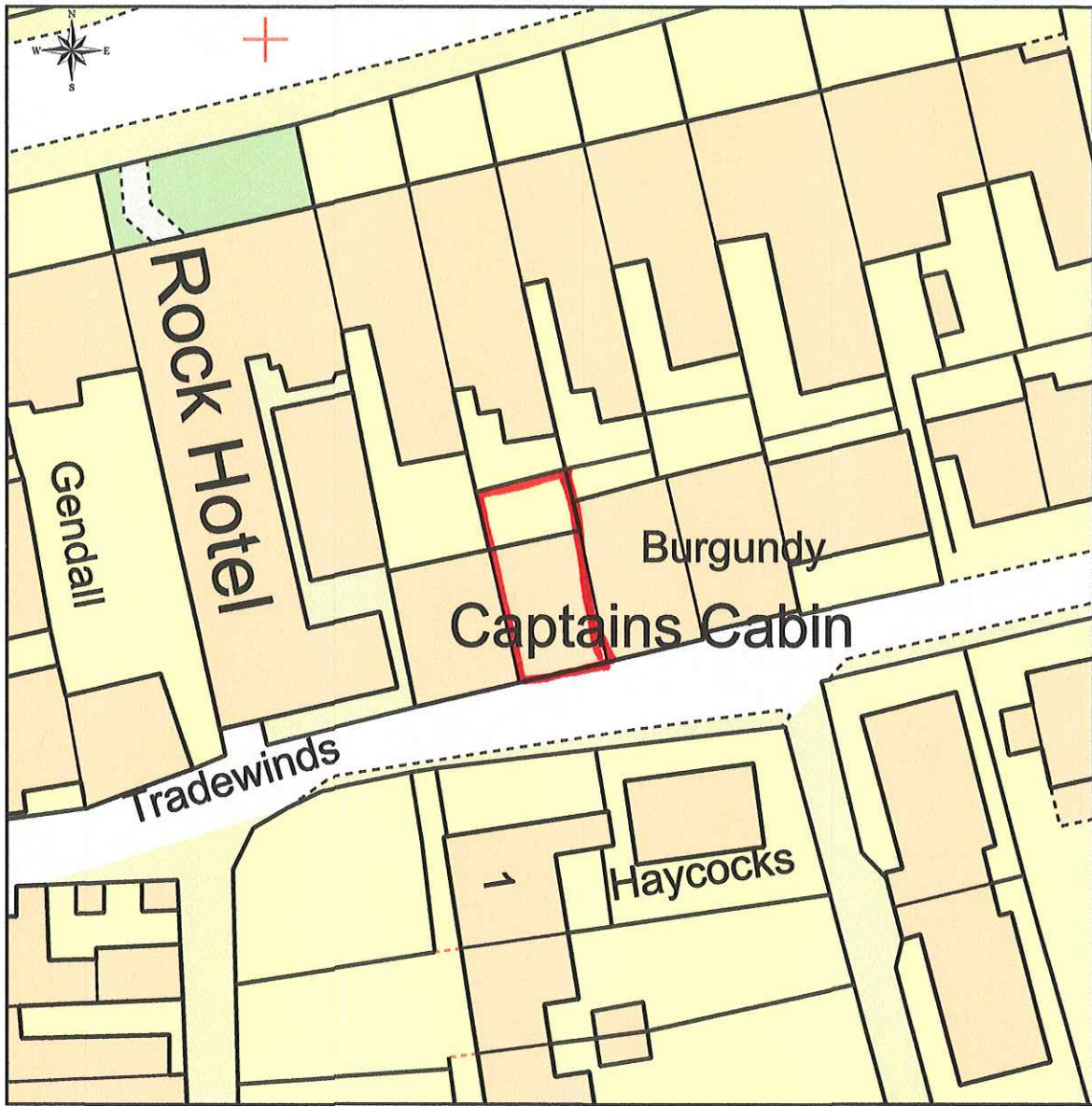
plans ahead by **emapsite™**

Prepared by: Paul Osborne, 20-11-2019

APPROVED

By Craig Dryden at 11:41 am, Jan 29, 2020

Site Plan For The Holt



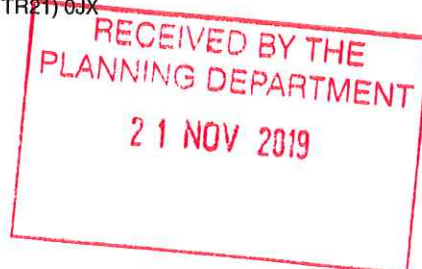
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0m 5m 10m 15m 20m 25m 30m 35m 40m

Scale: 1:500, paper size: A4

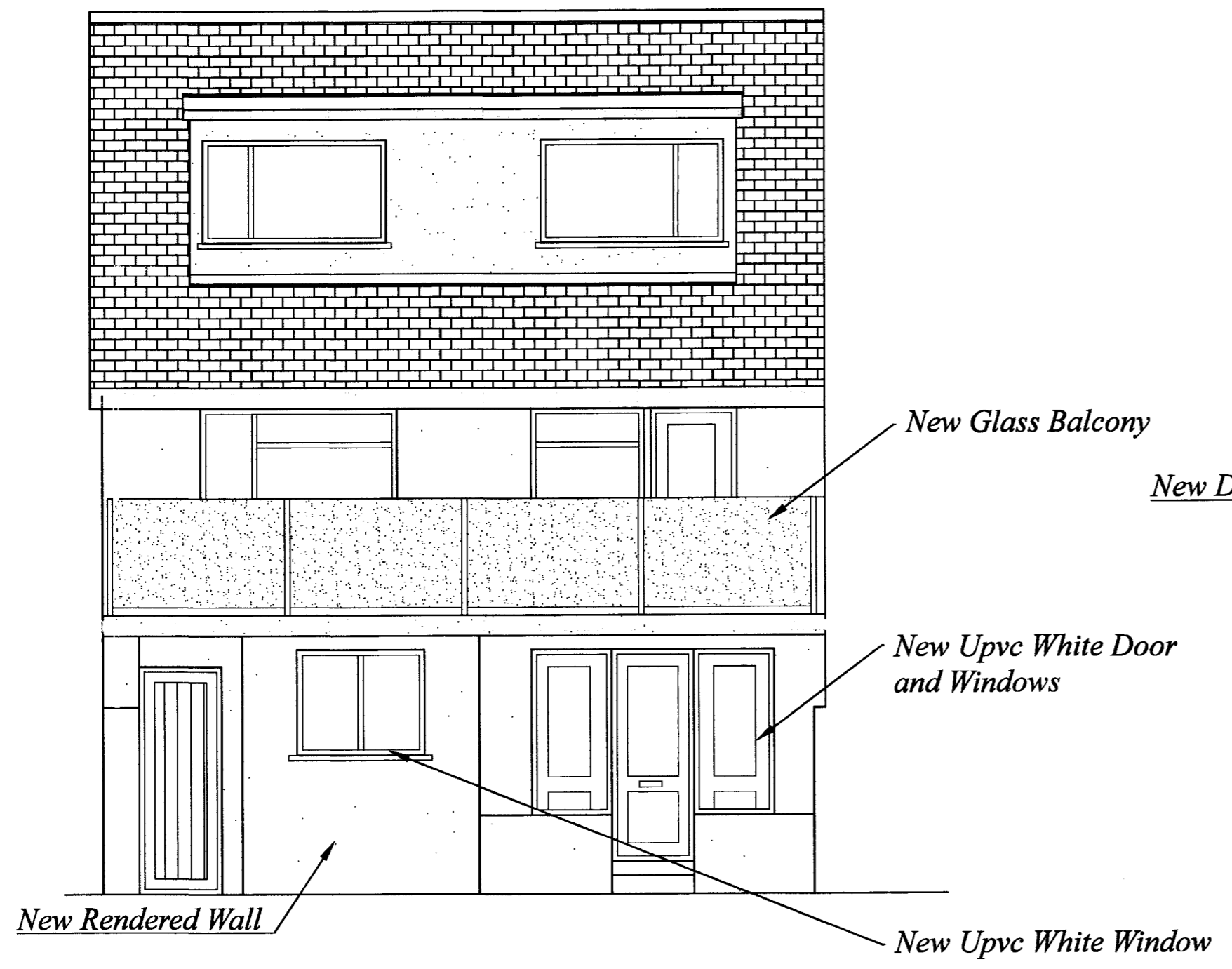
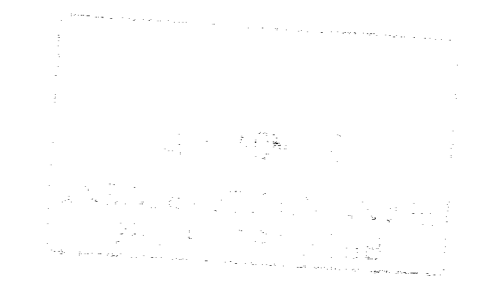
The HOLT
Site Plan

The Holt
Rams Valley
St. Mary's
Isles of Scilly
TR21 0JX

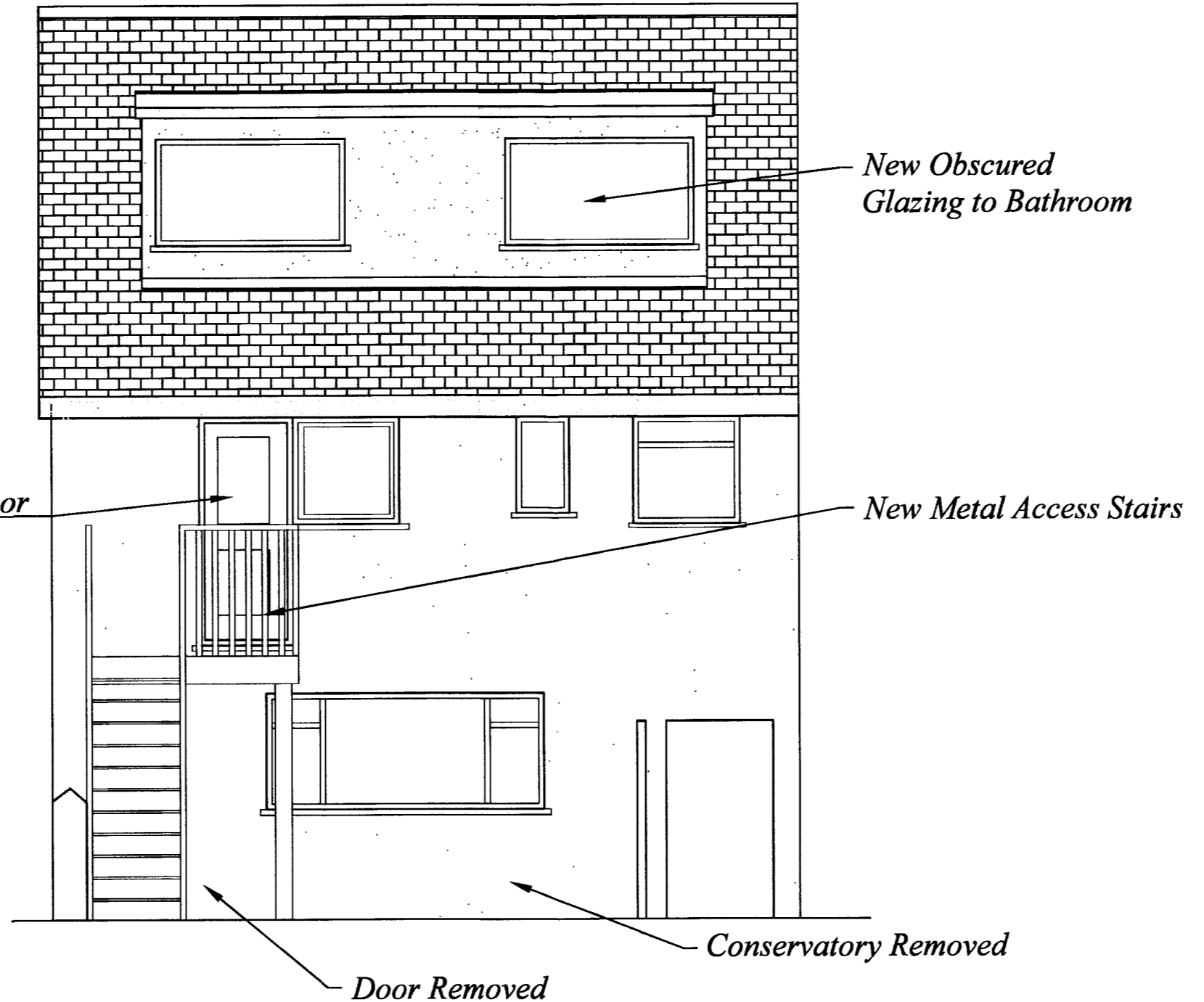


plans ahead by emapsite™

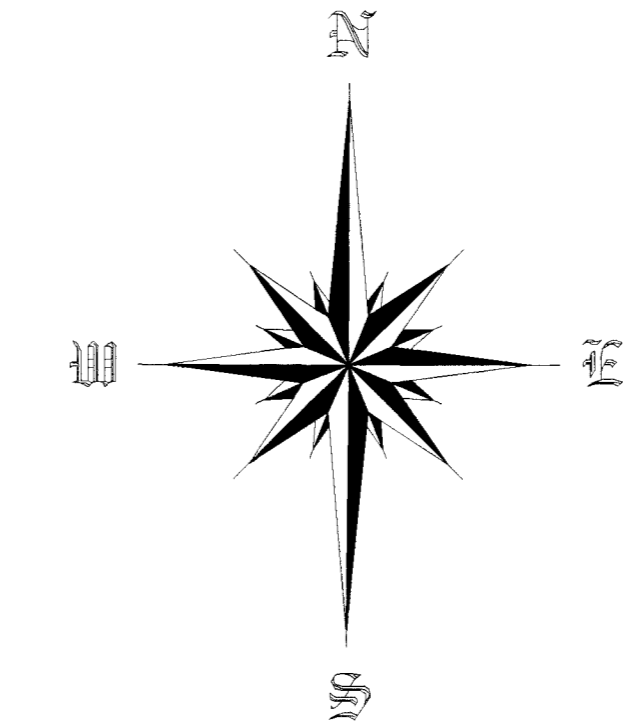
Prepared by: Paul Osborne, 20-11-2019



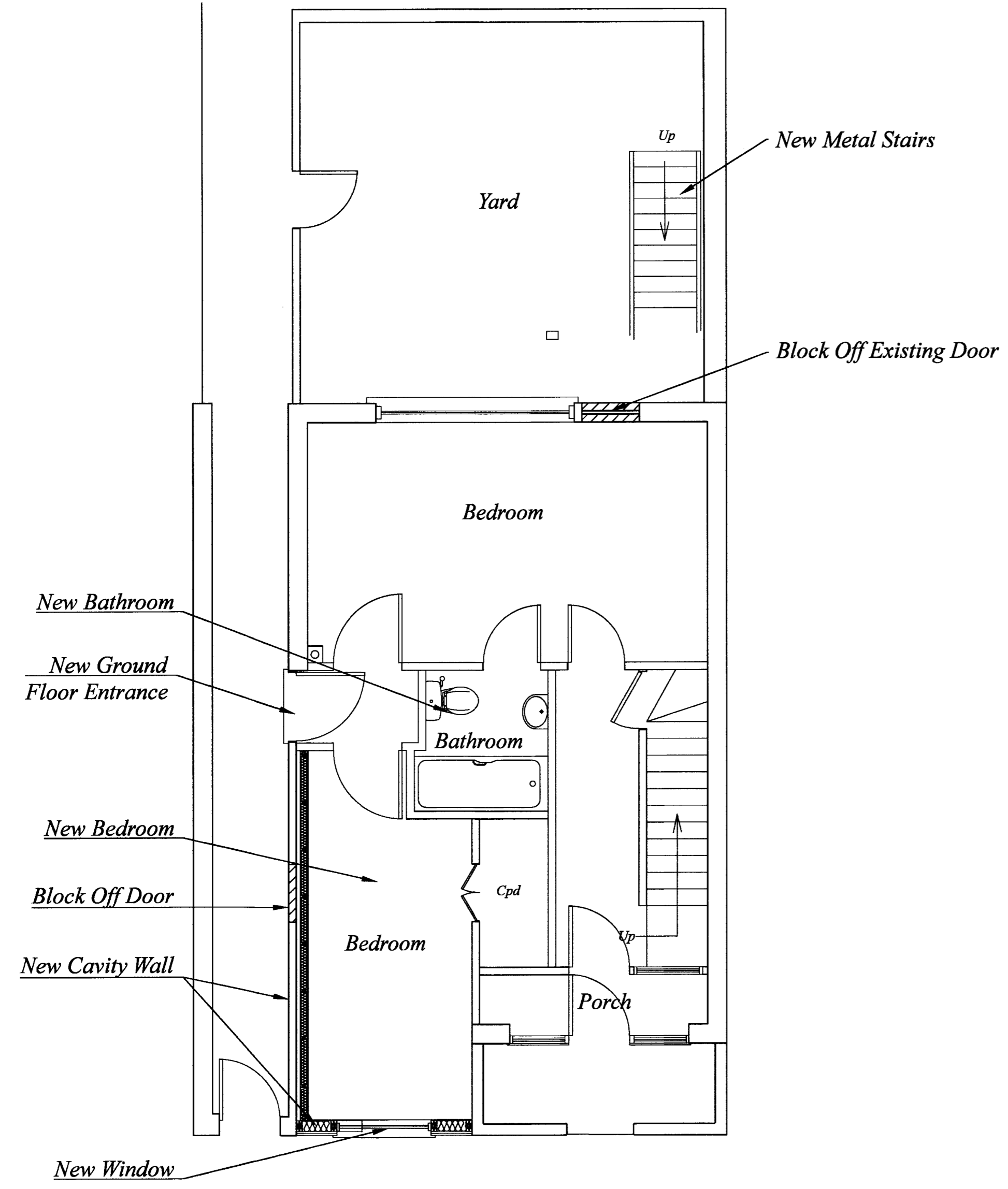
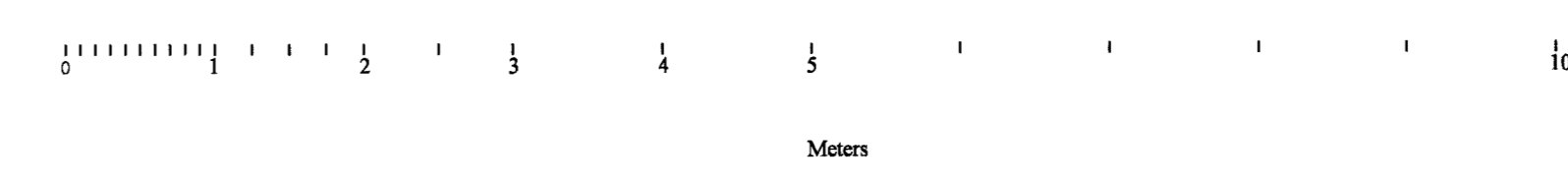
Front Elevation



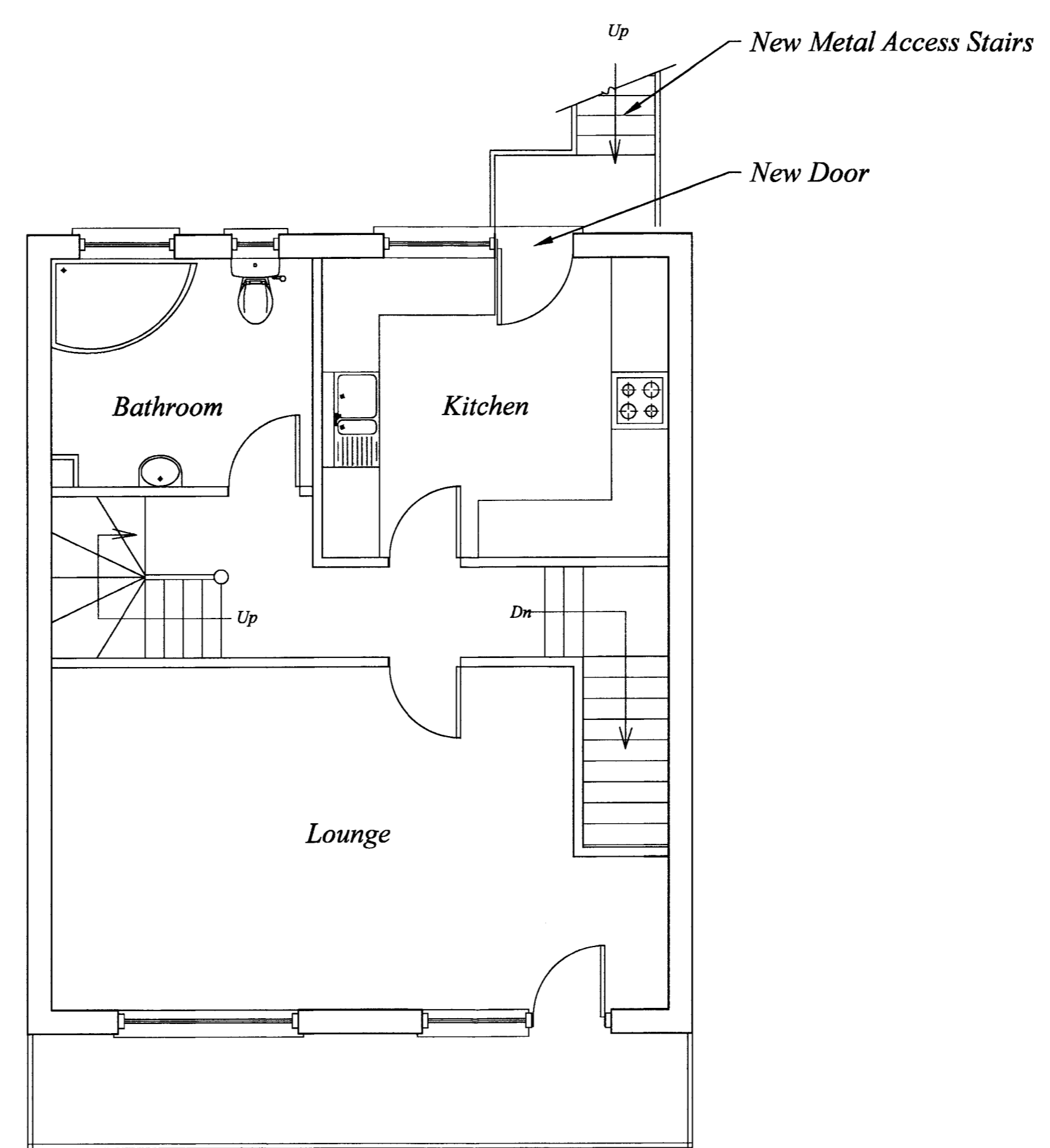
Rear Elevation



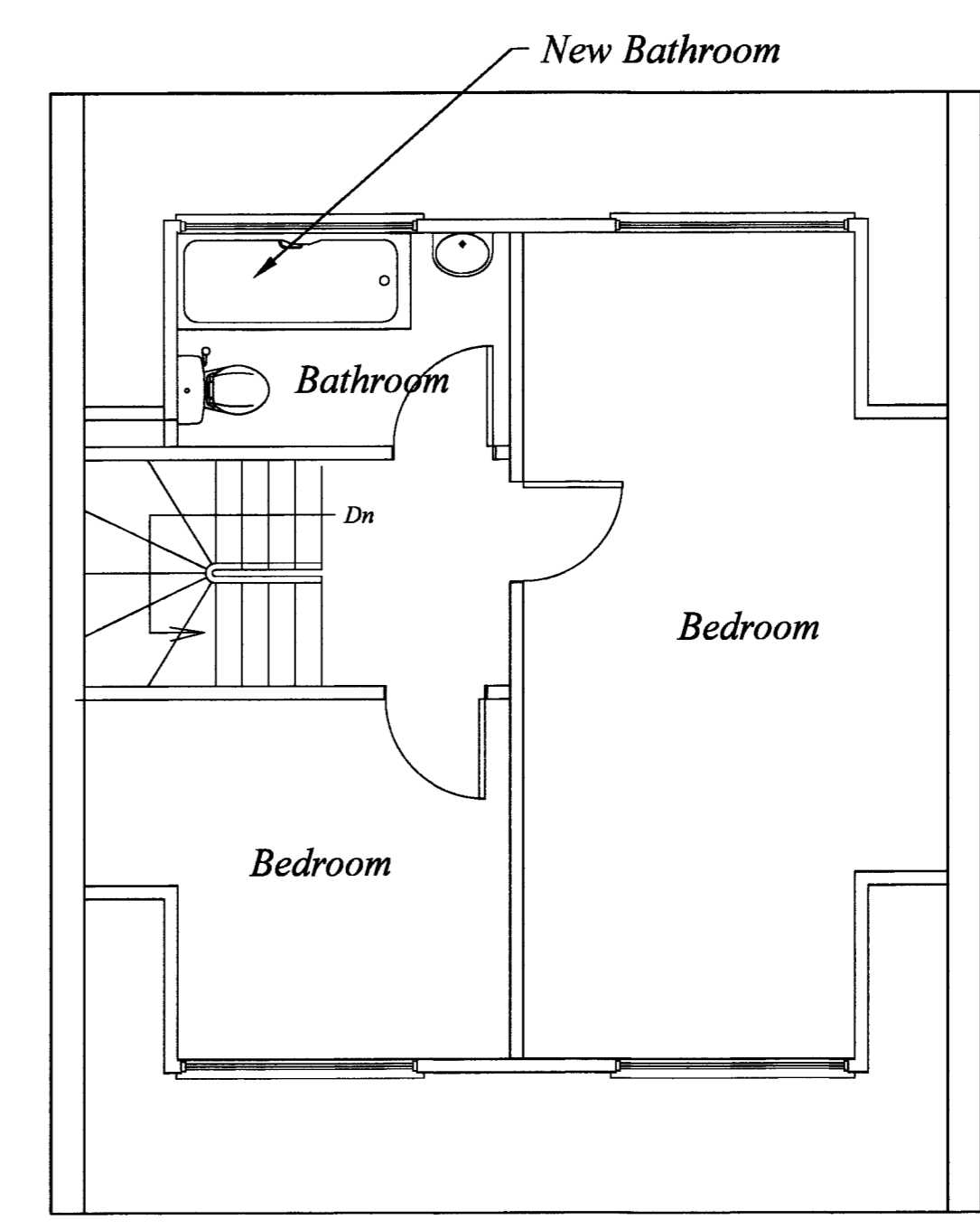
APPROVED
By Craig Dryden at 11:42 am, Jan 29, 2020



Ground Floor Plan



First Floor Plan



Roof Space Plan

The Holt
Rams Valley
St. Mary's
Isles of Scilly

Proposed
Alterations to
Dwelling

Mr Mrs J Squire

N.B. - No measurements to be scaled from this drawing unless specified. Whilst all efforts are made to insure accurate measurements Any discrepancies should be reported immediately to the architect.
© Copyright Paul Osborne

Date - November 2019
Amended -
Scale - 1 : 50 @ A1

PAUL OSBORNE
CARN THOMAS
ST. MARY'S, ISLES OF SCILLY.
TR21 0PT Tel (01720) 423377
Email: paul@sailsilly.com

H-PA-1a

APPROVED

By Craig Dryden at 11:43 am, Jan 29, 2020

Paul Osborne
Kavorna
Hugh St
St. Mary's
Isles of Scilly

Site Waste Management Plan

For
The Holt, Rams Valley,
St. Mary's, Isles of Scilly.



Ensuring waste is managed on site according to the SWMP. This includes ensuring appropriate segregation of waste on-site, making arrangements for the removal of waste from the site.

Ensuring all staff and sub-contractors understand their duties in relation to the SWMP. This includes organising appropriate training.

Ensuring correct records and documentation is kept. This includes checking waste transfer documentation, and maintenance of documentation relating to waste transfer.

The 'Site Waste Coordinator' is the point of contact for all staff, contractors and waste contractors in relation to the SWMP and waste management issues.

All contractors' staff operatives working on site are responsible for adhering to the principles for the movement and segregation of waste on site.

WASTE CONTRACTORS

The waste contractors are to be listed with contact details, this list is to be compiled by the 'Site Waste Coordinator'

All waste contractors are responsible for adhering to the SWMP including:

All waste contractors are responsible for ensuring compliance with their Duty of Care including providing the appropriate records to the 'site waste coordinator'

All mainland Contractors receiving waste are responsible for ensuring waste is managed as specified in the SWMP. They are responsible for ensuring the waste treatment facilities have a waste licence and that records are provided to the 'site waste coordinator'

Mainland waste contractors receiving waste are responsible for transporting it to a licensed waste management facility

Mainland waste contractors are responsible for providing adequate containers for the collection and segregation of waste as specified in the SWMP.

MANAGEMENT OF WASTE ON SITE

The principle contractor shall adopt the materials that'll be re-used or recycled on site will be segregated in designated areas ready for mainland transportation. The locations of the designated areas shall be identified by the contractor prior to commencement of works and recorded.

- Re-Use and Re-Cycle Off Site

INTRODUCTION

This document constitutes the 'best practice initiatives' adopted by the Mr J. Squire by requiring the contractors employed to carry out the proposed works at land at Porthcressa, St Mary's, Isles of Scilly to embrace the principles of the Site Waste Management Plan as required by the Site Waste Management Regulations 2008.

PROJECT SITE - The Holt, Rams Valley, St. Mary's, Isles of Scilly

CLIENT - Mr James Holt

CONTRACTOR - TBA

PROJECT SUMMARY - The proposed works are to Replace existing Timber windows.

START DATE - February 2020 (Subject tom Planning Approval)

PROJECT DURATION - To be confirmed by Contractor (Estimated 4 weeks)

PERSONS RESPONSIBLE FOR THE MANAGEMENT OF WASTE - Contractor

Third Party Waste Handling - Third parties handling waste will be required to provide documentary evidence of their licence to handle, transport, recycle and dispose of waste.

OBJECTIVES

Project Objectives

- 1 To take all responsible steps to ensure that waste management controls are observed.
- 2 To minimise the amount of waste generated and maximised the amount of waste reused and recycled.
- 3 To re-use as much waste as possible on-site. Where reuse is not possible to identify the most appropriate waste management option in line with the waste hierarchy.
- 4 To manage waste as close as possible to site location
- 5 To make and improve awareness of waste management issues of all contractors and sub contractors and to ensure the correct waste management practices are followed on site.

RESPONSIBILITIES

The responsibilities in relation to the SWMP are set out below.

The Site Waste Coordinator is the Principle Contractor on site, who is responsible for implementation of the SWMP. Duties include but are not limited to:

- Materials that will be removed from site for recycling will be segregated from the waste stream and collected in containers for transport. The locations of collection and segregation area/s and the materials that will be collected at these sites are to be recorded.
- The waste containers will be coloured coded according to the National Coding Scheme.
- All waste which can be reused or recycled as specified in the recorded tables just be segregated out of the waste stream by staff and sub-contractors.
- Contamination of the waste containers will be monitored.
- At the end of each day all staff and package contractors must ensure that waste is moved to the appropriate area/s as specified.
- All movable containers will be locked at the end of each day.
- Any problems found with arrangements for waste segregation should be reported directly to the 'site waste coordinator.'

TRAINING

As part of adopting the principles of the SWMP the Principle Contractor shall implement training and as such the site waste coordinator shall be responsible for ensuring all of the contractors staff and operatives receive training the implementation of the SWMP

Details of training should be recorded.

MEASURING AND MONITORING

The Site waste Coordinator will be responsible for ensuring that monitoring takes place throughout the project - to include:

Estimated Waste generated Schedule

Summary of Actual Waste Generated

Actual Waste Carrier Recorded.

APPROVED

By Craig Dryden at 11:43 am, Jan 29, 2020

Planning application P/19/061/HH

22.01.20

The Holt

Rams valley

St Marys

TR21 OJX

Below I hope I have answered any questions you have regarding the works to be carried out to our home,

- 1) I have installed a new boiler which is much more economical than the last as this one is a modern electronic unit whereas the one before was an old oil-fired system, it now runs on a timer function for the hot water only.
- 2) The heating throughout is a modern electric system with smart heaters all set to be used with energy consumption and the environment in mind.
- 3) I will have also installed water savers in both toilets and low flow reducers on all taps throughout the house.
- 4) With energy conservation in mind I have fully insulated the property from the roof down where previously there was none, have filled voids and cavity's with insulation and covered hot water pipes.
- 5) The garage door that we are replacing will be done with a brand-new double-glazed unit which is far better than the existing unit which is poorly fitted. The external doors I have proposed to change will also be done with double glazed units in keeping with the rest of the house.
- 6) The white goods I have installed in the property are all new and to a high economy rating all being at least A rated and the dish washer and washing machine are both low water usage.
- 7) Throughout the property I have replaced all wiring, sockets and light fixings with energy saving options to include led light bulbs.
- 8) With regards to the garden are we will install two bird boxes and a bat box attached to the back of the house to encourage wildlife, in the garden itself we have arranged to plant local flowers in a raised area along one wall with a watering system provided from guttering from the property.

Regards,

Emma and James Squire.

P/19/061/HH Details of Bat and Bird Boxes

From: Emma Bass
To: [Walton Lisa](#)
Subject: Fwd: Bat and bird boxes
Date: 26 January 2020 12:05:20

APPROVED

By Craig Dryden at 11:44 am, Jan 29, 2020

Below is attached email advising us regarding the bat and bird boxes as we have no trees or hedges and it needs to be on an external wall 4 m from ground we shall have to put them up on rear side of property I think realistically we can only have two bat and one bird box for size of property . We will buy 3 of the boxes they suggest . Is that ok or do you need more information .

Regards Emma

Sent from my iPhone

Begin forwarded message:

From: Darren Hart <[REDACTED]>
Date: January 24, 2020 at 10:52:35 GMT
To: [REDACTED]
Cc: Darren Mason [REDACTED]
Subject: Bat and bird boxes

Dear Emma and James

Further to your enquiry about bird and bat boxes we would recommend that if possible you erect a minimum of 3 bat boxes on the property. We would recommend their orientation be east, west and north. The height at which they ideally need to be erected is 4 m above ground level. However, 3 m would suit if it is not safe to go to 4 m high. If possible, erect them close to cover, such as a hedgerow, but try to avoid erecting them near external lights, as this will likely deter bats from using them. The bats will need a clear flight path to the entrance.

For the bats that you are likely to find on the island we would recommend boxes that suit crevice dwelling species, some suppliers of boxes are given below. Choose a box with a narrow entrance slit at the bottom, that is made from rough sawn timber, or pre-moulded woodcrete. There is also the option of integrated bat and bird boxes that form part of the brickwork (see Habibat).

All the suppliers below will also stock bird boxes. Any bird box should be situated at least 3 m high on a tree or building. Unless there are trees or buildings providing shade during the day, face the box between north and east, thus avoiding strongest sunlight and wettest wind. Tilt the box slightly forward so that driving rain will hit the roof and bounce clear. I would recommend two boxes with 32 mm holes and placed as far apart as possible. House sparrows will happily nest in close proximity but other species are less likely and prefer a bit of space. Keep nest boxes away from areas where House Martins and Swallows nest.

Natural History Book Service

1-6 The Stables
Ford Road
Totnes
Devon
TQ9 5LE
Tel: 01803 865913
Email: customer.services@nhbs.com
Website: <https://www.nhbs.com/>

2. Habibat
Tel: 01642 724626
Email: <http://www.habibat.co.uk/contact>
Website: www.habibat.co.uk

3. Wildlife & Countryside Services
Covert Cottage
Pentre Lane
Rhuddlan
North Wales
LL18 6LA
Tel: 0333 9000927
Email: support@wildlifeservices.co.uk
Website: www.wildlifeservices.co.uk

4. Wildcare
Eastgate House
Moreton Road
Longborough
Gloucestershire
GL56
0QJ
Tel: 01451 833181
Email: sales@wildcare.co.uk
Website: www.wildcare.co.uk

If there are any further questions, or queries please do not hesitate to contact me. Good luck.

All the best

Darren

Darren Hart
Education Ranger

Isles of Scilly Wildlife Trust | Isles of Scilly Area of Outstanding Natural Beauty

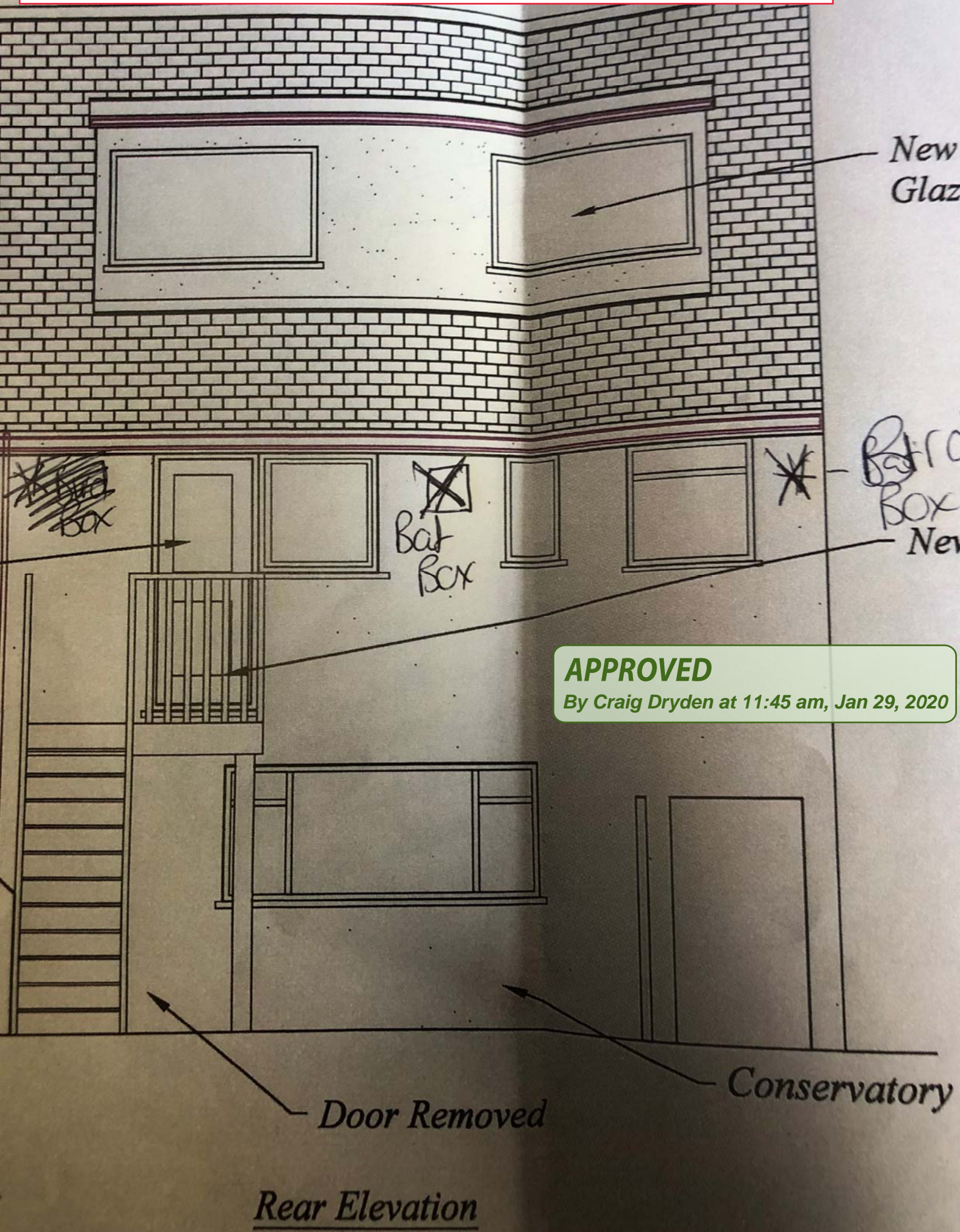
Office: 01720 422153

Mobile: 07824564950

*Charity and Company Limited by Guarantee: Isles of Scilly Wildlife Trust Limited
Registered Charity No 1097807. Registered Company No 04726698.*

www.ios-wildlifetrust.org.uk

P/19/061/HH Position of x1 Bird Box and x1 Bat Box



New Glaz

Bat Box New

APPROVED
By Craig Dryden at 11:45 am, Jan 29, 2020

Door Removed

Conservatory

Rear Elevation