



**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

## **COUNCIL OF THE ISLES OF SCILLY**

Town Hall, St Mary's TR21 0LW  
Telephone: 01720 424455 – Email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Town and Country Planning Act 1990  
Town and Country Planning (Development Management Procedure) Order 2010

### **PERMISSION FOR DEVELOPMENT**

**Application No:** P/20/065/FUL      **Date Application Registered:** 2nd September 2020

**Applicant:** Lloyds Banking Group  
PO Box 112  
Cannons House  
Cannons Way  
Bristol  
BS99 7LB

**Agent:** Mr Rob Harries  
Studio 211  
Creative Quarter  
8A Morgan Arcade  
Cardiff  
CF10 1AF

**Site address:** Lloyds Bank Plc The Bank Hugh Town St Mary's Isles Of Scilly  
**Proposal:** Proposed new level access into the branch comprising alteration/removal of the existing external entrance steps, lowering of the internal floor (where required) and alterations to the existing entrance door surround. Together with the new internal platform lift and internal alterations/re-modelling to facilitate the works. (Listed Building)

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

**C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

**C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**

- **Plan 1 Location and Block Plan, Drawing Number: 50252700-AREX-00-0010, Dated 21/008/2020**
- **Plan 2 Proposed Elevations, Drawing Number: 50252700-AR01-E1-0101, REV B Dated 02/12/2019**
- **Plan 3 Proposed Ground Floor Plan, Drawing Number: 50252700-AR01-00-0001, 02/12/2019**
- **Plan 4 Entrance Door Details, Drawing number: 50252700-AR01-00-0902 Dated 07/12/2020**
- **Plan 5, Ramp Details, Drawing Number: 5025700-AR01-00-0901, Dated 07/12/2020**
- **Plan 6 Heritage Statement, Dated August 2020**
- **Plan 7 Site Waste Management Plan Details**

**These are stamped as APPROVED**

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Listed Building, Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy 1 of the Isles of Scilly Local Plan 2005 and Policies OE1 and OE7 of the Submission Isles of Scilly Local Plan (2015-2030).

- C3 All works involving machinery required in connection with the implementation of this permission shall be restricted to between 0800- and 1800-hours Monday to Saturdays. There shall be no works involving machinery on a Sunday or Public or Bank Holiday.**

Reason: In the interests of protecting the residential amenities of neighbouring properties.

- C4 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any new external lighting shall be submitted to, and approved in writing by, the Local Planning Authority. The lighting shall thereafter be installed in accordance with the agreed details.**

Reason: To protect the amenities of the locality, including that of neighbouring residential properties and to protect the amenities of this rural area and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Submission Draft Isles of Scilly Local Plan 2015-2030.

**Further Information**

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2019.

Signed:



Senior Officer, Planning and Development Management

*Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.*

**DATE OF ISSUE:** 7th January 2021



# COUNCIL OF THE ISLES OF SCILLY

Planning Department  
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW  
☎0300 1234 105  
✉planning@scilly.gov.uk

Dear Lloyds Banking Group

## Please sign and complete this certificate.

This is to certify that decision notice: P/20/065/FUL and the accompanying conditions have been read and understood by the applicant: Lloyds Banking Group.

1. **I/we intent to commence the development as approved:** Proposed new level access into the branch comprising alteration/removal of the existing external entrance steps, lowering of the internal floor (where required) and alterations to the existing entrance door surround. Together with the new internal platform lift and internal alterations/re-modelling to facilitate the works. (Listed Building) at: Lloyds Bank Plc The Bank Hugh Town St Mary's Isles Of Scilly **on:** .....
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

Print Name: .....

Signed: .....

Date: .....

Please sign and return to the **above address** as soon as possible.

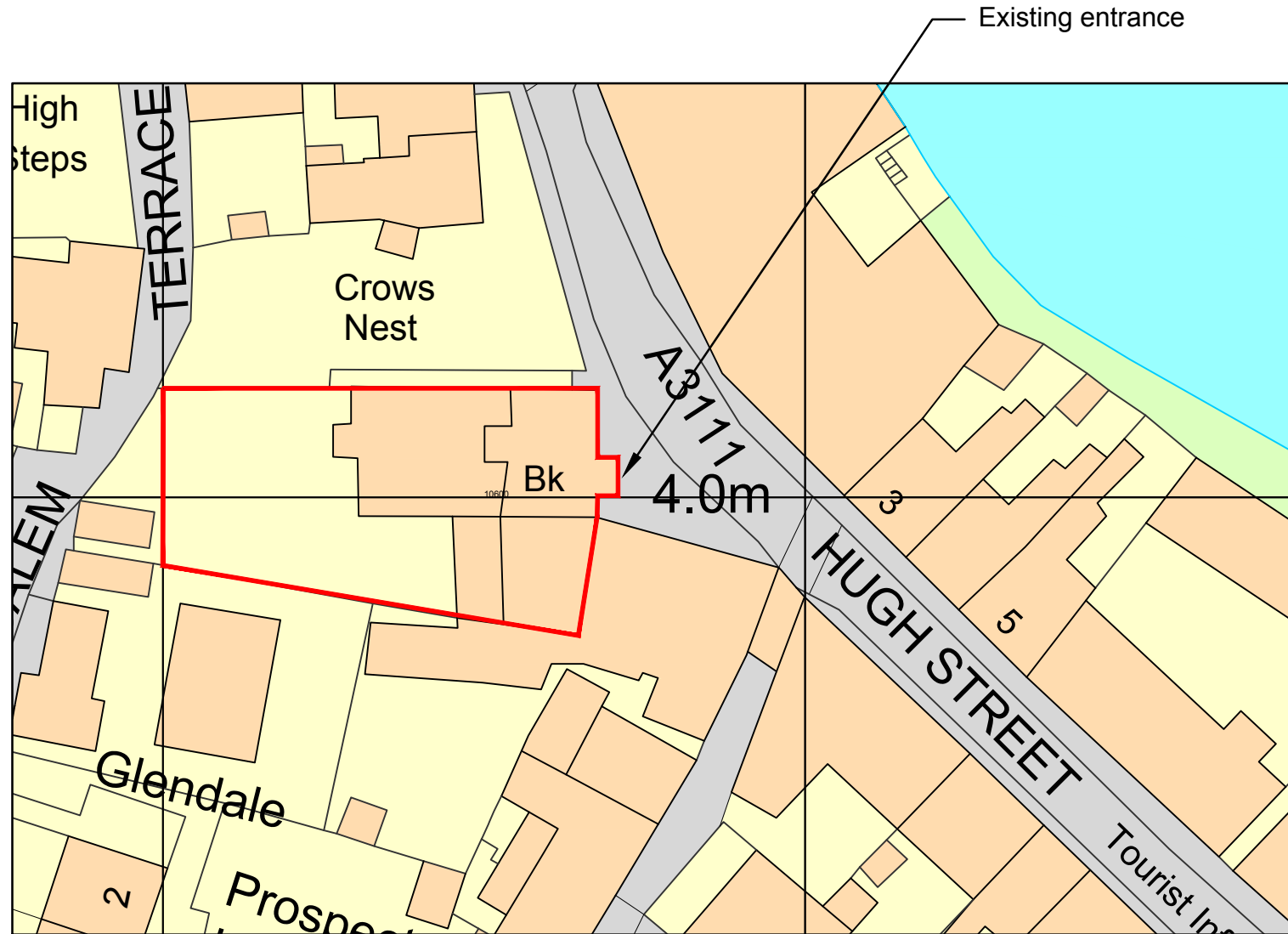
Plan 1

**RECEIVED**

By A King at 1:59 pm, Sep 02, 2020

**APPROVED**

By Lisa Walton at 12:39 pm, Jan 07, 2021

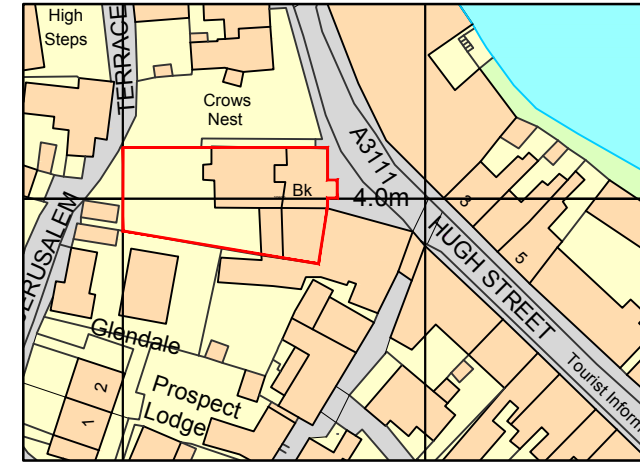


Ordnance Survey, (c) Crown Copyright 2020. All rights reserved. Licence number 100022432

**BLOCK PLAN**



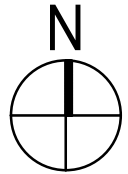
SCALE: 1:500



**SITE LOCATION PLAN**



SCALE: 1:1250



REV	DATE	REVISION	INITIALS
B	02/09/2020	Redline amended	RH
A	01/09/2020	OS licence number added	RH

**LLOYDS BANKING GROUP**

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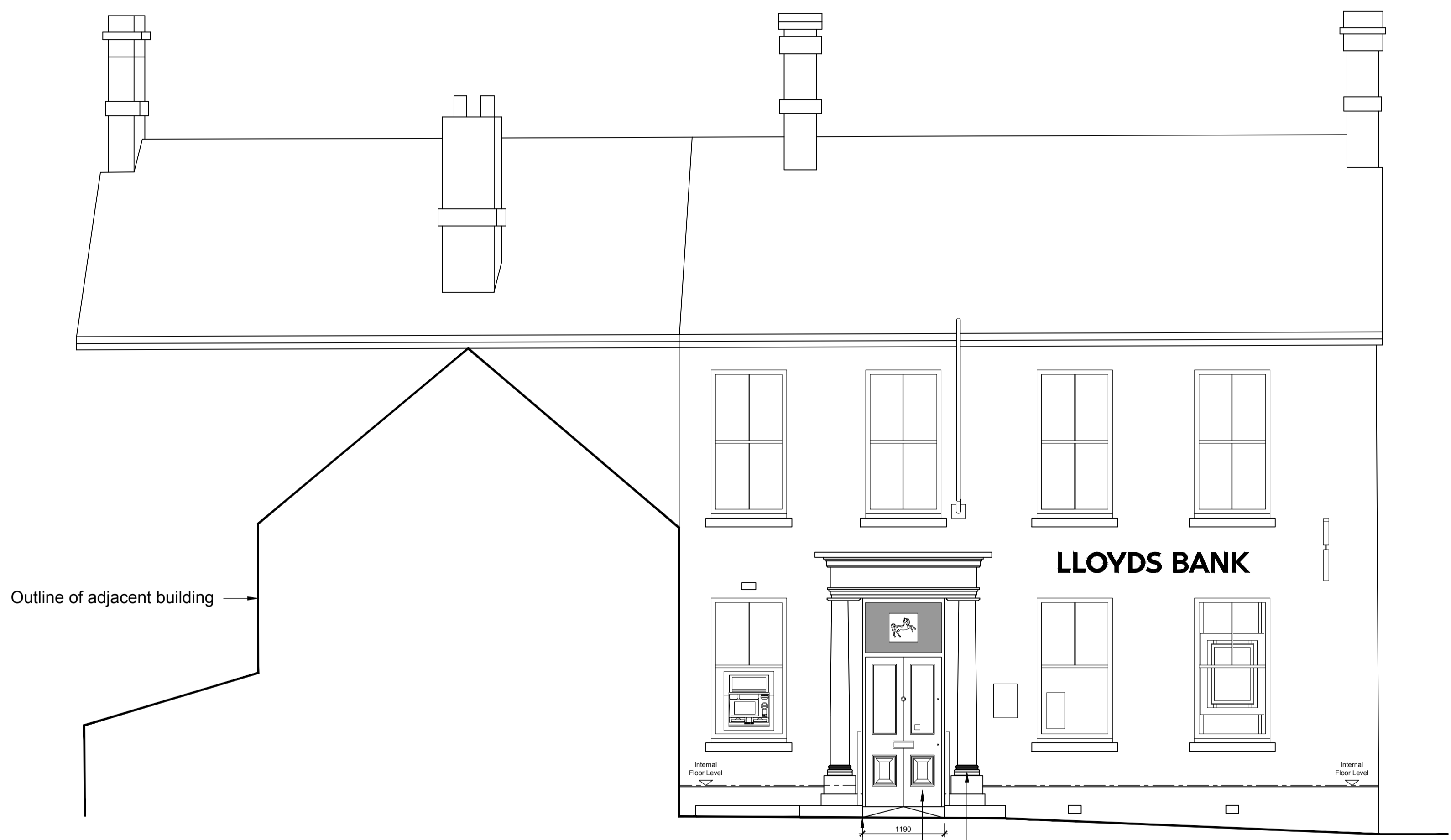
**GROUP PROPERTY**

BRISTOL - PO Box 112, Canons House, Canons Way, BRISTOL, BS99 7LB  
 EDINBURGH - Sighthill South, 12 Bankhead Crossway South, EDINBURGH, EH11 4EN  
 HALIFAX - Trinity Road, HALIFAX, West Yorkshire, HX1 2RG

PROJECT ADDRESS Brand - Lloyds St Mary's Isle Of Scilly P.O. Box 2 ST MARY'S TR21 0PW	SCALE As Noted
DRAWING DESCRIPTION General Arrangement Proposed Plan Site Location / Block Plan	DATE 21/08/2020
DRAWING NUMBER 50252700-AREX-00-0010	DRAWN BY RH
	REVISION B

RECEIVED  
Received 18/12/2020  
LW

APPROVED  
By Lisa Walton at 12:39 pm, Jan 07, 2021



Existing stone steps and entrance landing to be cut back and levels reduced to form new access into branch. Allow for redressing existing stone and / or new stonework to match along sides of opening.

Entrance approach to be ramped maximum 1:12 (approx rise 165mm), with new handrails on posts to both sides.

Allow for localised cleaning of stonework and localised decoration of porch ie column bases etc

New hardwood timber door and frame with glazed fanlight above. Door to be fully automated. Apply new dusted crystal vinyl to fanlight together with new Black Horse logo vinyl.

# PROPOSED FRONT ELEVATION

B	24/11/2020	Entrance door noted as new; scope notes updated	RH
A	19/08/2020	Dusted crystal added to entrance door fanlight	RH
REV	DATE	REVISION	INITIALS

**LLOYDS BANKING GROUP**

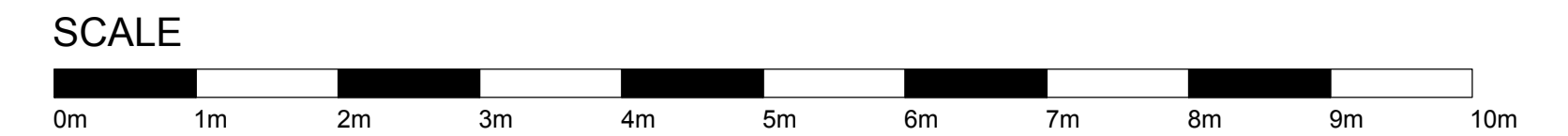
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PROJECT ADDRESS	SCALE
Brand - Lloyds	A1 - 1:50
St. Mary's Isles Of Scilly	A3 - 1:100
P.O. Box 2	DATE
ST MARY'S TR21 0PW	02/12/2019
DRAWING DESCRIPTION	DRAWN BY
Elevations	RH
Proposed Front	REVISION
DRAWING NUMBER	B
50252700-AR01-E-1-0101	



**PARTITION KEY:**

	EXISTING PARTITION
	NEW PARTITION
	NEW PARTITION
	NEW PARTITION

**LIFT DETAILS:**

Manufacturer:	Easylifts
Type:	1100 VC Plus Platform Lift
Platform Size:	1100x1400mm
Overall Size:	1360x1520mm inc clearance - TBC
Pit Size:	1360x1520mm - TBC
Pit Depth:	70mm excluding finishes
Travel:	310mm - TBC
Colour:	White - TBC
Floor:	TBC
Additional:	Auto gates required both sides

- Note:**
- Allow for new internal wall finish to match existing where floor levels have been reduced. Tanking if required to Engineers details. Note skirting height (approx 430mm) / makeup in banking hall.
  - New walls to be scribed around coving and cornice detailing at abutments with existing walls and finished max 75mm below existing ceiling. Top of wall capped with timber.
  - Allow for new vinyl signage comprising:
    - FSCS;
    - Security Notice;
    - Auto Door.

**Structural Engineer to check if new secure wall requires additional structural support as wall will not be fixed to the existing ceiling**

**APPROVED**  
By Lisa Walton at 12:40 pm, Jan 07, 2021

D	19/08/20	Door heater position revised and associated notes updated; dusted crystal added to fanlight	RH
C	19/08/20	Platform lift manufacturer revised; cashier counters revised	RH
B	04/02/20	Notes updated to Group comments	RH
A	20/01/20	Notes updated following teleconference	RH

REV	DATE	REVISION	INITIALS
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PROJECT ADDRESS	SCALE
Brand - Lloyds	A1 - 1:50
St. Mary's Isles Of Scilly	A3 - 1:100
P.O. Box 2	DATE
ST MARY'S TR21 0PW	02/12/2019
DRAWING DESCRIPTION	DRAWN BY
Ground Floor	RH
Proposed Plan	REVISION
DRAWING NUMBER	D
50252700-AR01-00-0001	

Existing radiator to be removed and supply pipework taken back to suitable point and capped off.

New platform lift with new stepped access to ATM area and Banking hall. Allow for 2No lift call pads on floor mounted posts. New handrails and balustrade to both sides of steps

Internal floor level lowered by approx 310mm to form level access into branch (outline of extent shown in red). Entrance approach to be ramped maximum 1:12, with new handrails on posts to both sides.

Drainage thought to be from branch, pipework route and levels to be determined during intrusive survey including affect on pipework as a result of reducing floor levels ie will there be sufficient fall in pipe at new level.

Existing stone steps and entrance landing to be cut back and levels reduced to form new access into branch. Allow for redressing existing stone and / or new stonework to match along sides of opening.

New door frame with new glazed fanlight above. Apply new dusted crystal vinyl to fanlight together with new Black Horse logo vinyl. Existing timber door to be reused with new automated opening system and new glazing to 2No upper panels - glazing to be agreed with Planners. Allow for relocating post box within door including all making good. New safety barrier to rear of door. Install new heavy duty door heater supported by side walls ie not foxed to ceiling

Remove existing lobby, form new downstand where lobby partition removed. Retain existing decorative coving and cornice detailing. Existing radiator to be removed and supply pipework taken back to suitable point and capped off. Existing overdoor heater to be removed.

New increased length radiator - adapt existing pipework to suit.

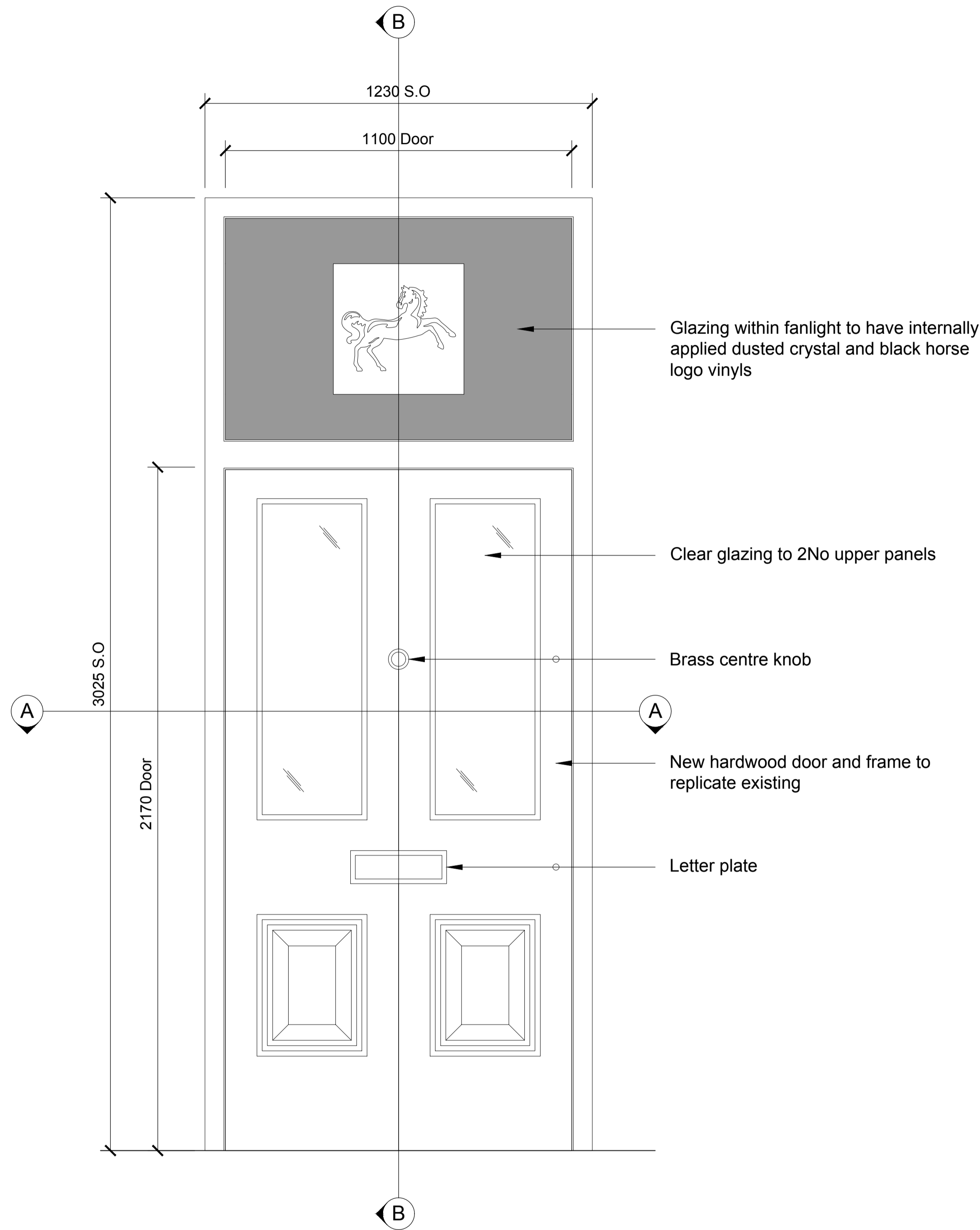
Existing screened counters removed including lighting battens fixed to screen fronts. Install 2No new screened counters. Counters to be set back from original counter line

Relocate existing wall mounted graphic

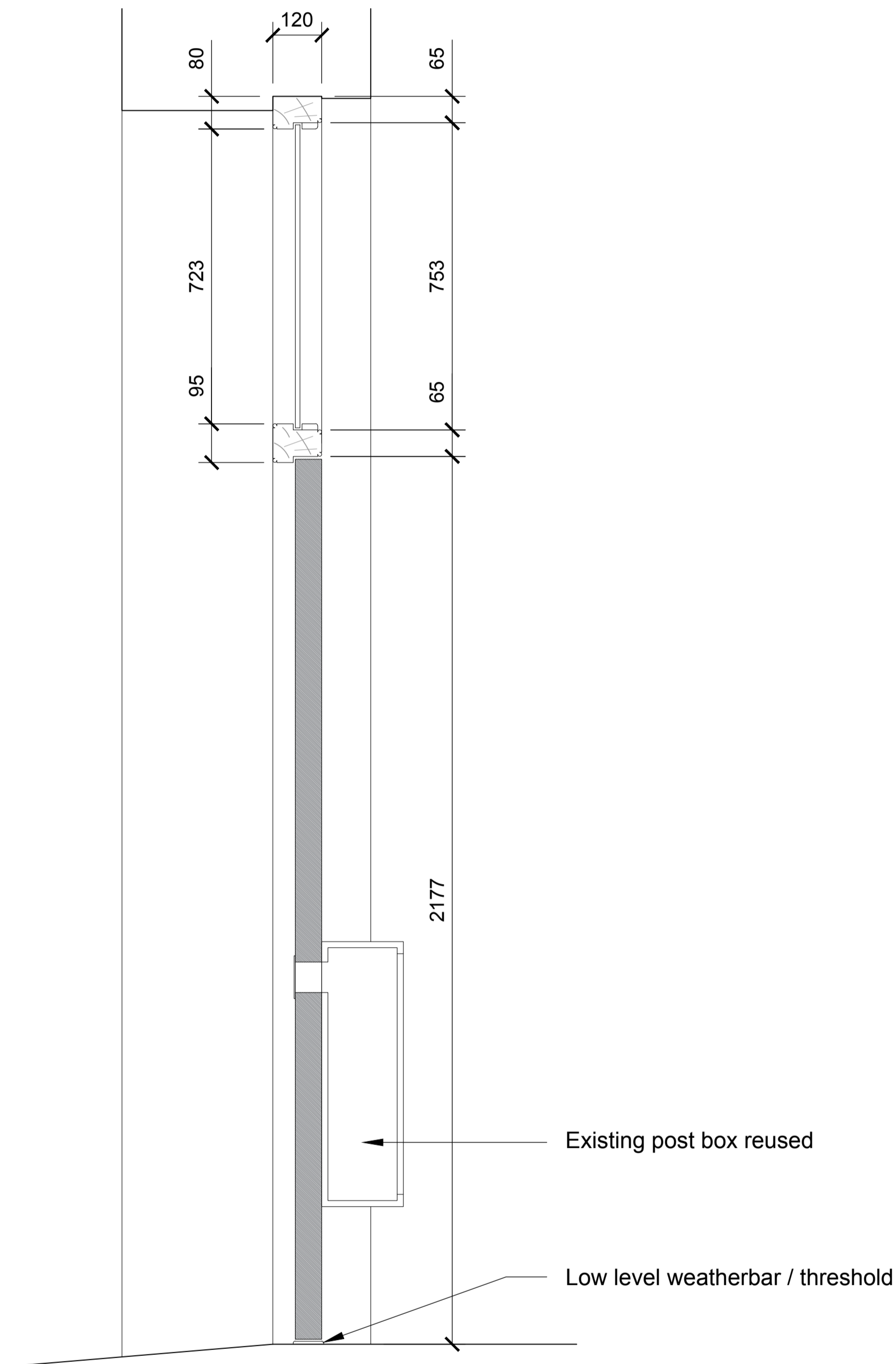
New reduced length radiator - adapt existing pipework to suit.

Remove existing wall and worktop - note power and data. Install new 1100mm high partition wall with timber capping and worktop. Install new power and data to match existing quantities. Relocate existing storage units and filing cabinets.

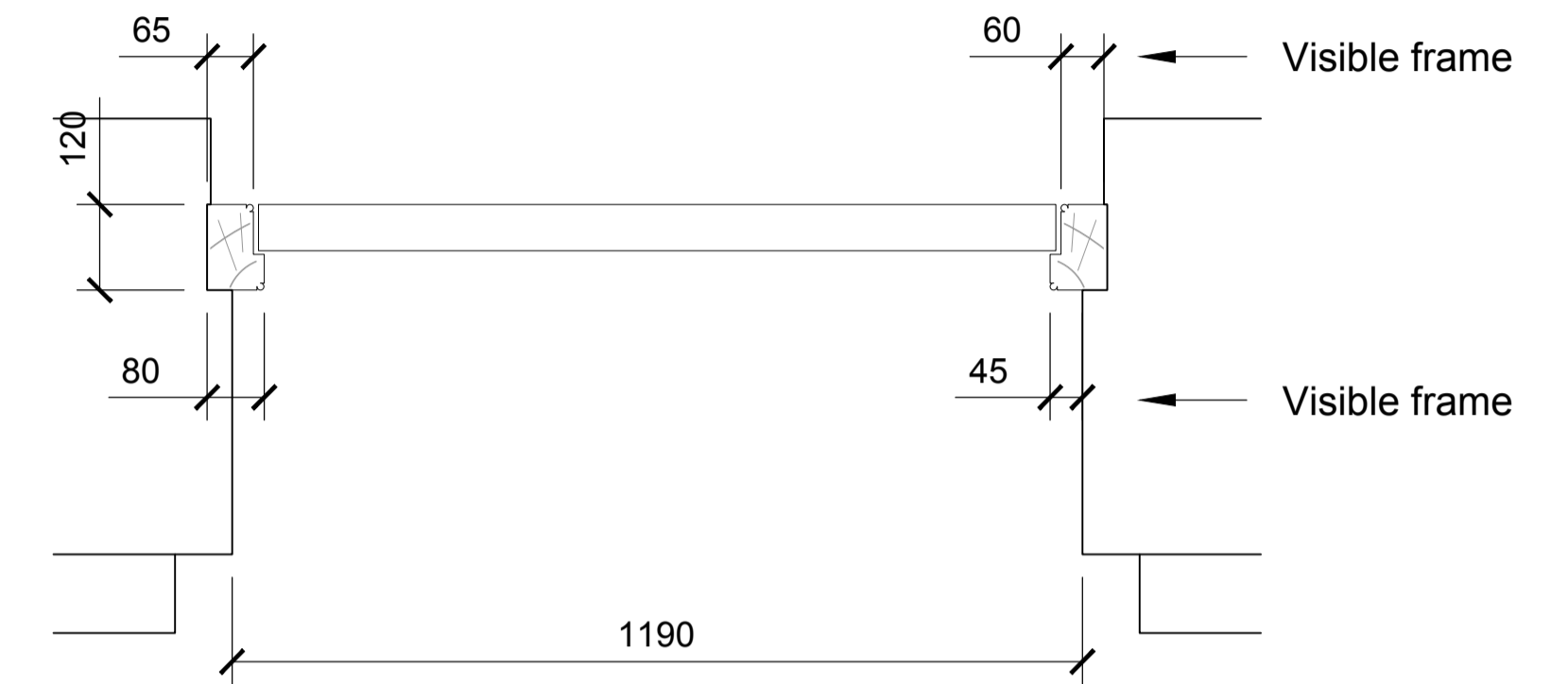
# PROPOSED GROUND FLOOR PLAN



**PROPOSED ELEVATION**  
SCALE - 1:10



**PROPOSED SECTION B-B**  
SCALE - 1:10



**PROPOSED SECTION A-A**  
SCALE - 1:10

NOTE:

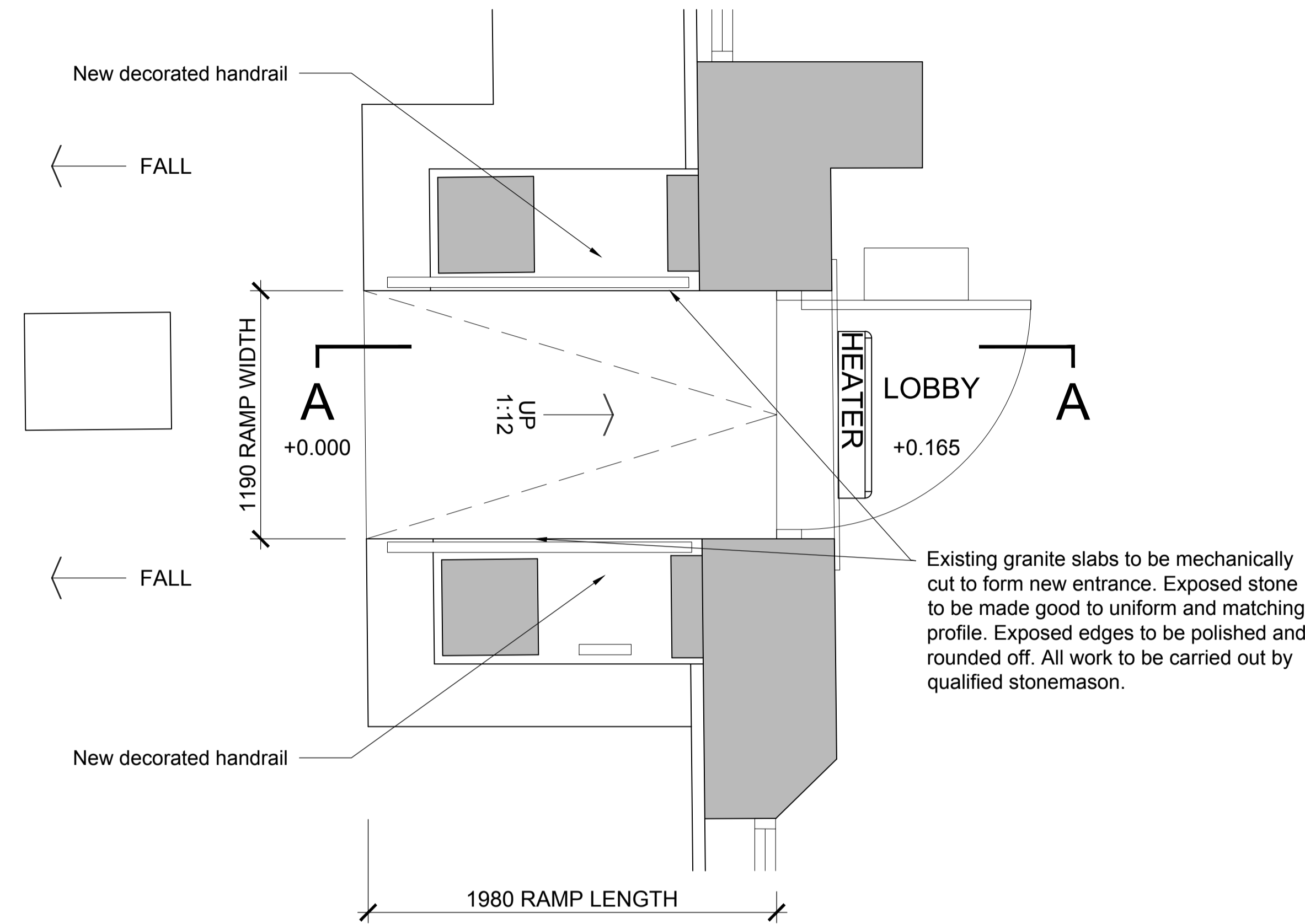
1. New hardwood door and frame to match existing. Sizes shown including frame sections are shown indicative and are subject to final site measure by joinery manufacturer.
2. New decoration to match existing, colour and finish.

APPROVED  
By Lisa Walton at 12:40 pm, Jan 07, 2021

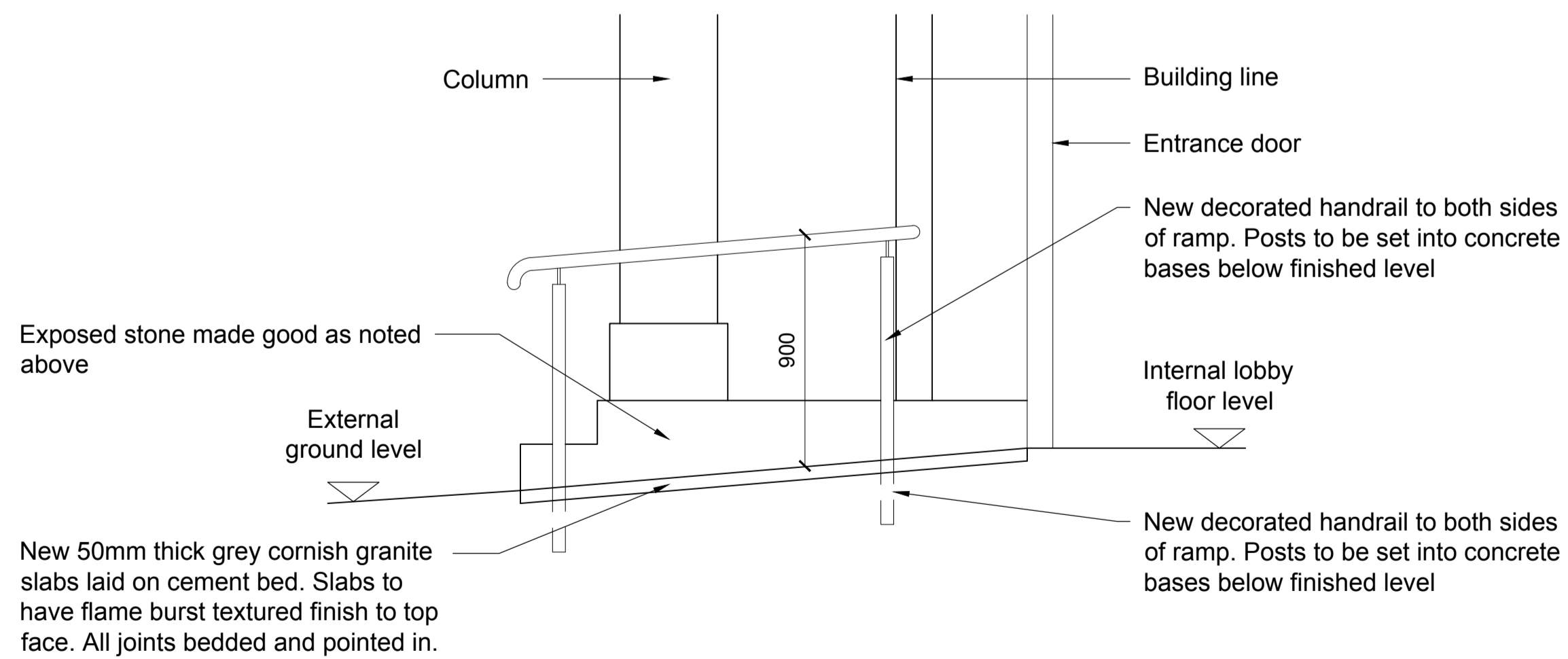
REV	DATE	REVISION	INITIALS
<b>LLOYDS BANKING GROUP</b>			
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<b>GROUP PROPERTY</b>			
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<small>PROJECT ADDRESS</small>		<small>SCALE</small>	
Brand - Lloyds		A1 - 1:10	
St. Mary's Isles Of Scilly		A3 - 1:20	
P.O. Box 2		DATE	
ST MARY'S TR21 0PW		07/12/2020	
<small>DRAWING DESCRIPTION</small>		<small>DRAWN BY</small>	
Typical Details		RH	
Entrance Door and Frame		<small>REVISION</small>	
<small>DRAWING NUMBER</small>		-	
50252700-AR01-00-0902			

RECEIVED  
By Lisa Walton at 18/12/2020

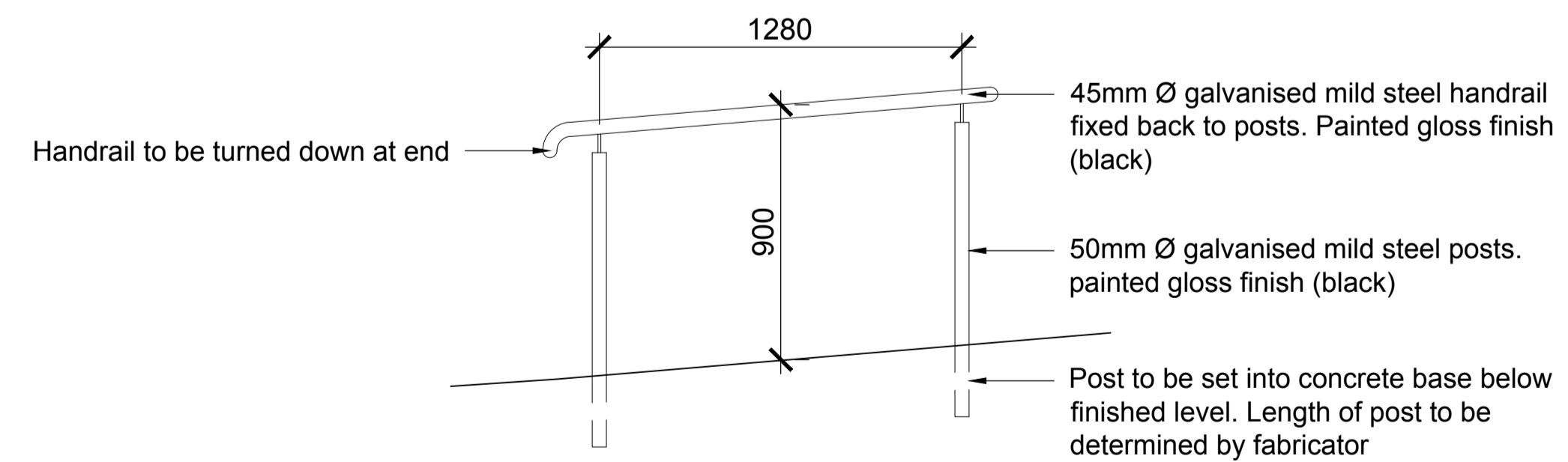
- NOTE:
1. Post dimensions are centre to centre.
  3. All dimensions to be verified on site.
  4. Fabrication drawings to be provided for comment prior to manufacture.
  5. All steelwork to be acid etched primed and painted with gloss finish (black).



### PROPOSED ENTRANCE PLAN



### TYPICAL HANDRAIL ELEVATION / SECTION



### TYPICAL HANDRAIL DETAIL

APPROVED  
By Lisa Walton at 12:41 pm, Jan 07, 2021

REV	DATE	REVISION	INITIALS
<b>LLOYDS BANKING GROUP</b>			
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PROJECT ADDRESS		SCALE	
Brand - Lloyds		A1 - 1:20	
St. Mary's Isles Of Scilly		A3 - 1:40	
P.O. Box 2		DATE	
ST MARY'S TR21 0PW		07/12/2020	
DRAWING DESCRIPTION		DRAWN BY	
Typical Details		RH	
Entrance Ramp		REVISION	
DRAWING NUMBER		-	
50252700-AR01-00-0901			



**RECEIVED**

*By A King at 9:19 am, Sep 02, 2020*

**SADLER BROWN ARCHITECTURE**

**APPROVED**

*By Lisa Walton at 12:42 pm, Jan 07, 2021*

Proposed Internal Platform Lift and Steps  
at  
Lloyds Bank  
Hugh Street  
St Marys  
Isles of Scilly  
TR21 0PW

Heritage Statement  
August 2020



## Introduction

This Heritage Statement has been prepared on behalf of the Lloyds Banking Group. It accompanies a Planning and Listed Building Application for new level access into the branch.

## Context

The property is situated in a central location within Hugh Town, St Marys, Isle of Scilly.

Thought to have been originally constructed in the mid 19<sup>th</sup> century as a house, the ground floor of the property has subsequently been converted into a branch of Lloyds Bank.

The property is Grade II listed and within Isle of Scilly Conservation Area and Area of Outstanding Natural Beauty (AONBs).

## Heritage Statement

SV9010 HUGH STREET, Hugh Town 1358-0/8/60 (South West side) Lloyds Bank

GV II

House, now bank. Mid C19. Colourwashed render over granite rubble; gabled scantled slate roof; rendered end stacks. Double-depth plan. 2 storeys; 4-window first-floor range. Horned 2/2-pane sashes. Porch to left of centre with 2 Roman Doric columns and correct Doric antae, entablature and cornice; 4-panelled door and rectangular fanlight. Interior: enriched cornices to ground floor. Included for group value.

Listing NGR: SV9018110605  
(Source: Historic England)

## Proposed Works

In accordance with the proposed plans submitted with the Planning and Listed Building Application, the work will comprise of the removal of the existing external entrance steps, lowering of the internal floor (where required) and alterations to the existing entrance door and surround. In addition, internally there will be a new platform lift and steps to enable customers to gain independent access into the branch together with internal alterations and remodelling to facilitate these works.



Existing Entrance

# SADLER BROWN ARCHITECTURE



Existing Banking Hall

## Objective

Currently the only access into the branch for customers is via the main front entrance steps. This limits potential customers particularly those with disabilities and / or parents with pushchairs etc.

Therefore, the principle objective of the proposed works is to remove the external steps and provide level access into the branch, together with a new internal platform lift and steps which will enable unrestricted and independent access for all.

## Proposed Solution

It is considered that the proposed solution provides the least harm to the building and its immediate surroundings.

Alternative solutions such as an external ramp were deemed unsuitable, primarily due to the constraints of the existing pavement in terms of levels, but also from a visual perspective.

## Significance of Affected Fabric

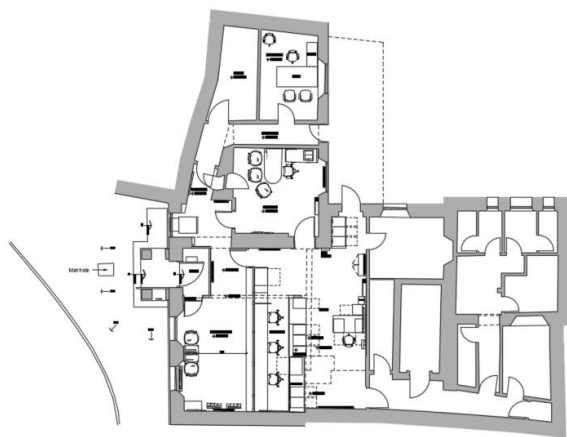
The proposal will cause some loss to the original fabric of the building, although this will be limited to the removal of the 2No stone entrance steps and partial lowering of the internal floor.

Externally it is intended that the door frame is to be adapted / extended to suit the new levels, the existing door modified and reused and a new glazed fanlight installed above.

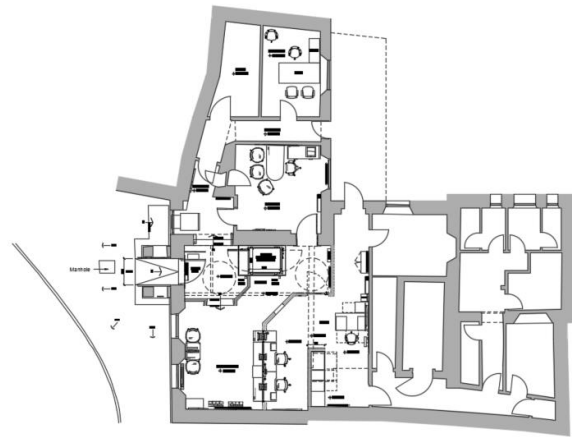


Extent of entrance steps to be removed

The interior of the branch has been subject to a modern fitout and generally consists of modern studwork partitions, componentry and furniture. It is proposed that the internal layout of the public area will be remodelled to provide better access and circulation areas.



Existing Ground Floor Plan



Proposed Ground Floor Plan

Where new partitions abut existing walls, they are to be scribed around the coving and cornice detailing. In addition, the new partitions will be finished below the existing ceiling level to avoid unnecessary damage.

### Assessing Harmful Impact

Externally the proposed works will result in the loss of 2 No stone entrance steps which are believed to be part of the original construction.

The remaining external elements would remain untouched retaining the buildings original character.

# SADLER BROWN ARCHITECTURE

Internally the loss of the original fabric of the building would be limited to the partial removal / lowering of the ground floor. It is thought the structure, although not confirmed, will be timbers from the original build. However, the floor finish appears to be modern timber sheet as opposed to the original floorboards.

## **Assessing Beneficial Impact**

The proposed works would benefit customers as the building would become fully accessible, in addition to fulfilling the Banks obligations under the Equality Act 2010.

This will enhance the sustainability of the building in its current use and its hoped the altered banking facilities will continue to enhance this historic area of the town and its endeavours to bring both new and existing customers to the bank and its neighbouring retailers.

**From:** [Rob Harries](#)  
**To:** [Lisa Walton](#)  
**Cc:** [Steve Murphy](#)  
**Subject:** RE: P/20/065/FUL and P/20/066/LBC Lloyds Bank, Hugh Town St Mary's Isles of Scilly  
**Date:** 18 December 2020 13:14:43  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[P-20-065 and 066 Pre-commencement conditions.pdf](#)  
[50252700-AR01-E1-0101-Elevations Proposed Rev B.pdf](#)  
[50252700-AR01-00-0901-Typical Ramp Details.pdf](#)  
[50252700-AR01-00-0902-Typical Entrance Door Details.pdf](#)

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Hi Lisa

Hope you are well.

With reference to the attached Pre-commencement conditions notice please see below and attached additional information addressing the point raised.

- Details of porch finishes
  - Details of the railings including methods of attachment, design, materials, paint colour and finish.  
Refer to drawing 50252700-AR01-00-0901-Typical Ramp Details.
  - Sectional drawings of the ramp including material of construction and finish.  
Refer to drawing 50252700-AR01-00-0901-Typical Ramp Details.
  - Measure to secure the porch columns whilst the steps are removed.  
  
The steps under the columns are to be retained. Any adjacent cutting works will be carried out in a manner to mitigate any disturbance of the retained structure.
  - Details of enlarged fanlight including the profile of door / fanlight and glazing bars.  
50252700-AR01-00-0902-Typical Entrance Door Details – Please note we have allowed for the entrance door to be replaced to match existing. This is because we need to glaze the upper two panels of the door to achieve the vision panels required. As such we're not 100% certain the existing door could be adapted to suit. We do however intend to look at this further on site and if the original door can be reused we will.
  - Details of any repairs and improvements to the porch.  
  
50252700-AR01-E1-0101-Elevations Proposed Rev B  
We have allowed for some localised cleaning of the stonework (removal of rust stains etc) together with localised redecoration to match existing.
- Noise and Hours of Work
  - Works involving machinery in connection with the implementation of this permission shall be restricted to between 0800 and 1800 hours Monday to Saturdays.  
This has been noted and will be adhered to on site.



### Lighting

- Details of any new external lighting shall be submitted to and approved in writing by the Local Authority.

We confirm that there is no new lighting to be provided under this application.



### Site Waste Management Plan

- Prior to commencement of the development a scheme including details of all sources of all building material and means / location of disposal of all demolition material and all waste arising from building works, shall be submitted to and agreed in writing with the planning Authority.

Where permissible all materials will be removed from the island via their respective trades.

Where this is not permissible or not practical the Principle Contract, ISG will engage with Island Carriers for the safe removal and disposal of all waste materials on the island. They will also assist with either bringing materials onto and / or sourcing them on the island. ISG have already made contact with Jeanette Ware of Island Carriers and will reengage with her prior to any works commencing on site.

Should you require greater confirmation of compliance, I'm sure waste transfer notices could be arranged when the works are underway.

Hopefully the above will assist you in closing out these conditions, however should you have any queries or require further information please do not hesitate to contact me.

In the interim have a great Christmas and New Year!!!!

Regards

**Rob Harries**

Associate



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