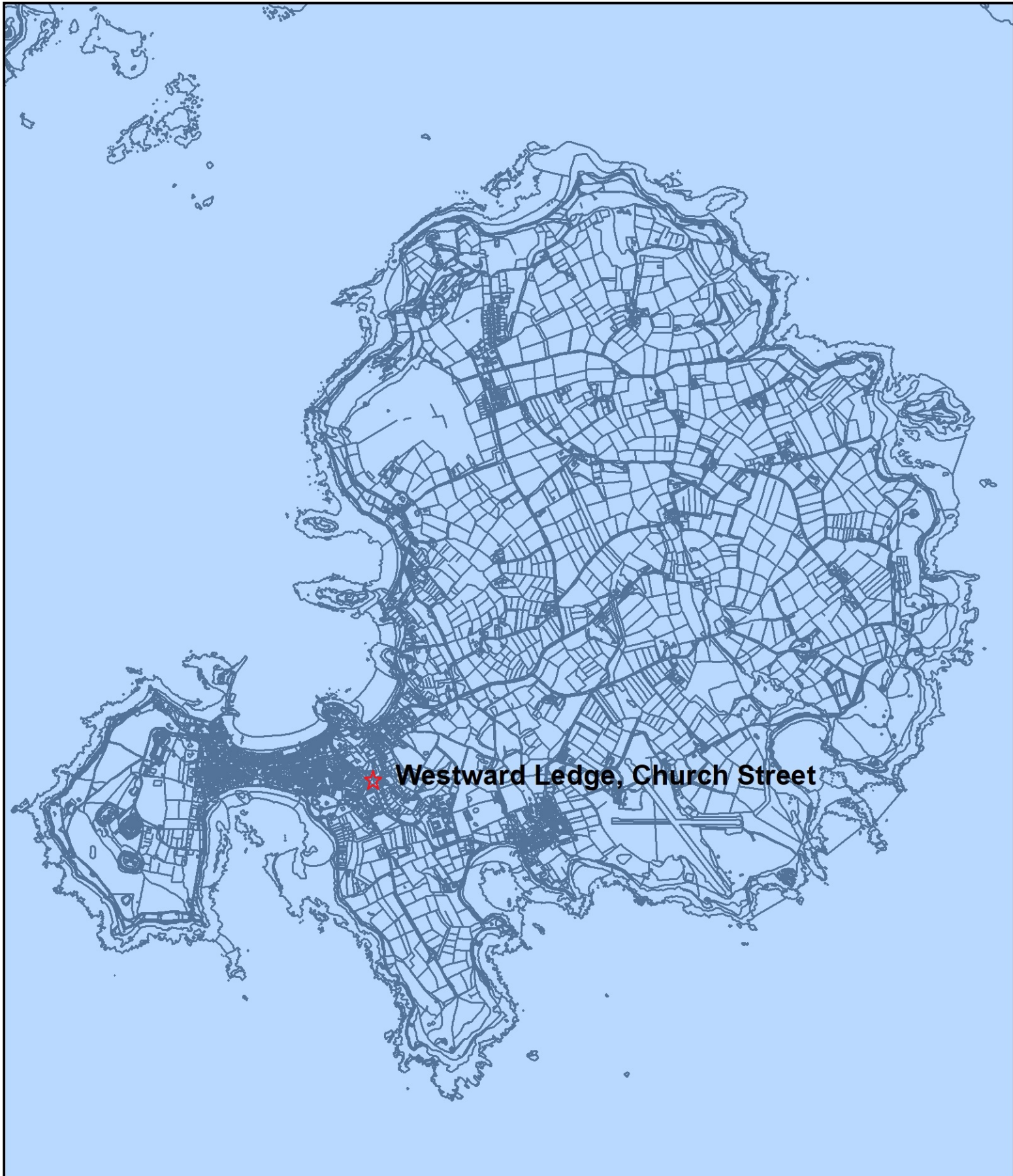


St Mary's, Isles of Scilly
Entirely within a Conservation Area (shaded blue)



★ **Westward Ledge, Church Street**



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Date: 27/01/2022

1:20,000 @A4

0

1,000

2,000

metres

Town Hall, The Parade,
St Mary's, Isles of Scilly, TR21 0LW



Council of the
ISLES OF SCILLY



COUNCIL OF THE ISLES OF SCILLY PLANNING DEPARTMENT

Town Hall, The Parade, St Mary's TR21 0LW
Telephone: 0300 1234 105 Email: planning@scilly.gov.uk

Planning (Listed Buildings and Conservation Areas) Act 1990
Planning (Control of Advertisements) (England) Regulations 2007
Planning (Listed Buildings and Conservation Areas) Regulations 1990
Town and Country Planning (Development Management Procedure) (England) Order 2015

The Council has received the following application for Householder to carry out development.

PLANNING REFERENCE	P/21/054/HH
LOCATION:	Westward Ledge, Church Road, Hugh Town, St Mary's.
DEVELOPMENT PROPOSED:	Roof alteration for introduction of two dormers plus velux roof light.
APPLICANT:	Mr R Jackman
REASON FOR NOTICE:	Conservation Area

Copies of the application, plans and other documents submitted with it are available for inspection by members of the public online at www.scilly.gov.uk. Hard copies of the plans are currently unavailable to view in person however please call the department and leave a message if you are unable to view plans electronically and we will get back to you to discuss.

Should you wish to make any comments on this application, please make them in writing to the Planning Department, Town Hall, The Parade, St Mary's, Isles of Scilly TR21 0LW or preferably by email to planning@scilly.gov.uk by 10th August 2021. Please note that postal communication may currently experience slight delays.

In the event an appeal is made against a decision of the Council to refuse to grant planning permission for the proposed development, and that appeal then proceeds by way of expedited procedure under the written representations procedure, any representations made to the Council about this application will be passed to the Secretary of State and there will be no opportunity to make further representations.

Signed: Lisa Walton, on behalf of the Council of the Isles of Scilly

Date: 20th July 2021



COUNCIL OF THE ISLES OF SCILLY

Planning & Development Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎ 0300 1234 105
✉ planning@scilly.gov.uk

Application Number: P/21/054/HH	Town and Country Planning (Environmental Impact Assessment) Regulations 2017
Screened by: Lisa Walton On: 12 th September 2021	

This is a schedule 2 development by virtue of 3 (i) of Schedule 2 of the EIA Regs

1. The characteristics of development must be considered having regard in particular to:

a) the size of the development;	Dormer extension to the roof only
b) the accumulation with other development;	n/a
c) the use of natural resources;	Negligible
d) the production of waste;	Negligible
e) pollution and nuisances;	Negligible
f) the risk of accidents, having regard in particular to substances or technologies used.	Low risk, but with any development high up there is a risk from construction accidents only

2. The environmental sensitivity of geographical areas likely to be affected by development must be considered having regard, in particular, to:

a) the existing land use;	The existing land use is residential within an existing settlement area of Hugh Town.
b) the relative abundance, quality and regenerative capacity of natural resources in the area;	Outside the site there is a high abundance of high quality natural resources, both coastal at countryside of both designated international importance and local nature reserves.
c) the absorption capacity of the natural environment, paying particular attention to the following areas: I. Wetlands; II. Coastal zones; III. Mountain and forest areas; IV. Nature reserves and parks; V. Areas classified or protected under	The absorption capacity of the natural environment is considered to be high.

<p>Member states' legislation; areas designated by Member States pursuant to Council Directive 79/409/EEC on the conservation of Wild Birds (a) and Council Directive 92/43/EEC on the conservation of natural habitats and of wild fauna and flora (b);</p> <p>VI. Area in which the environmental quality standards laid down in Community legislation have already been exceeded;</p> <p>VII. Densely populated areas;</p> <p>VIII. Landscapes of historical, cultural or archaeological significance;</p>	
---	--

3. The potential significant effects of development must be considered in relation to criteria set out under paragraphs 1 and 2 above, and having regard in particular to:

a) The extent of the impact (geographical areas and size of the affected population);	The impact will be limited to the building and no identified impact.
b) The trans-frontier nature of the impact;	There will not be any trans-frontier impacts
c) The magnitude and complexity of the impact;	Negligible
d) The probability of the impact;	Negligible
e) The duration, frequency and reversibility of the impact.	The proposed development would be permanent and irreversible.

- | | | |
|----|---|--------------------------------|
| Q1 | Is it a major development which is of more than local importance? | <input type="text" value="N"/> |
| Q2 | Does it affect a particularly environmentally sensitive or vulnerable location? | <input type="text" value="Y"/> |
| Q3 | Does it have unusually complex and potentially hazardous environmental effects? | <input type="text" value="N"/> |

Conclusion

Environmental Impact Assessment

Not required



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

☎0300 1234 105

✉planning@scilly.gov.uk

POSSIBLE CONDITIONS

FOR

APPEAL AGAINST REFUSAL

AT

WESTWARD LEDGE, CHURCH ROAD, ST MARYS ISLES OF SCILLY

REFUSED ON 13TH DECEMBER 2021

APPEAL REFERENCE: APP/Z0835/D/22/3290086

26TH JANUARY 2022

In the event that the Inspector is minded to grant permission, it is respectfully suggested that without prejudice to the Council's decision, the following conditions be imposed:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**

- **Plan 1 Location Plan (1:1250) 15/07/2021**
- **Plan 2 Proposed Elevations (1:100) 05/07/2021**
- **Plan 3 Existing and Proposed Roof Plan (1:100) 15/07/2021**
- **Plan 4 Existing and Proposed Roof Space (1:100) 15/07/2021**

These are stamped as APPROVED.

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and Policy OE7(5) of the Isles of Scilly Local Plan (2015-2030).

PRE-COMMENCEMENT CONDITION: Submission of Site Waste Management Plan

- C3 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, in accordance with the waste hierarchy, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.**

Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application, but are required to ensure the production of waste is minimised and waste is recycled, reused or disposed of appropriately. In accordance with Policy SS2(2) and OE5(2) of the Isles of Scilly Local Plan 2015-2030.

- C4 Before installation, precise specifications (including the manufacturer, range and colour details where applicable) of the facing materials to be used shall be submitted to, or made available for inspection by, the Local Planning Authority. The development shall then be carried out in accordance with the approved details only and retained as approved thereafter.**

Reason: In the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and Policy OE7(5) of the Isles of Scilly Local Plan (2015-2030).

- C5 All works involving machinery required in connection with the implementation of this permission shall be restricted to between 0800 and 1800 hours Monday to Saturdays. There shall be no works involving machinery on a Sunday or Public or Bank Holiday.**

Reason: In the interests of protecting the residential amenities of neighbouring properties.

- C6 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no further extensions (Part 1, Class A) and additions or alterations to the roof (Part 1 Class B and Class C) other than those hereby permitted shall be erected and no additional windows or other openings shall be installed within the building without the prior permission, in writing, of the Local Planning Authority.**

Reason: In the interests of the privacy and amenity of adjoining property and the wider character of the Conservation Area in accordance with Policies LC8 and OE7 of the Isles of Scilly Local Plan (2015 – 2030).

- C7 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any external lighting shall be submitted to and**

approved, in writing, by the Local Planning Authority. The lighting shall thereafter be installed in accordance with the agreed details.

Reason: To protect the amenities of the locality, including those of neighbouring residential properties and to protect and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

- C8 Prior to the first use of the extension, hereby approved, details of measures to promote biodiversity enhancements shall be submitted to and approved in writing by the Local Planning Authority, this shall include details of the installation of bat boxes and bird nesting opportunities appropriate to species found on the Isles of Scilly. Appropriate local guidance from the Isles of Scilly Wildlife Trust, for example, should be sought to inform the type, number and positioning of suitable bat and bird boxes. The measures approved shall be installed, prior to the first breeding/nesting season following completion of the development and shall be retained as such thereafter.**

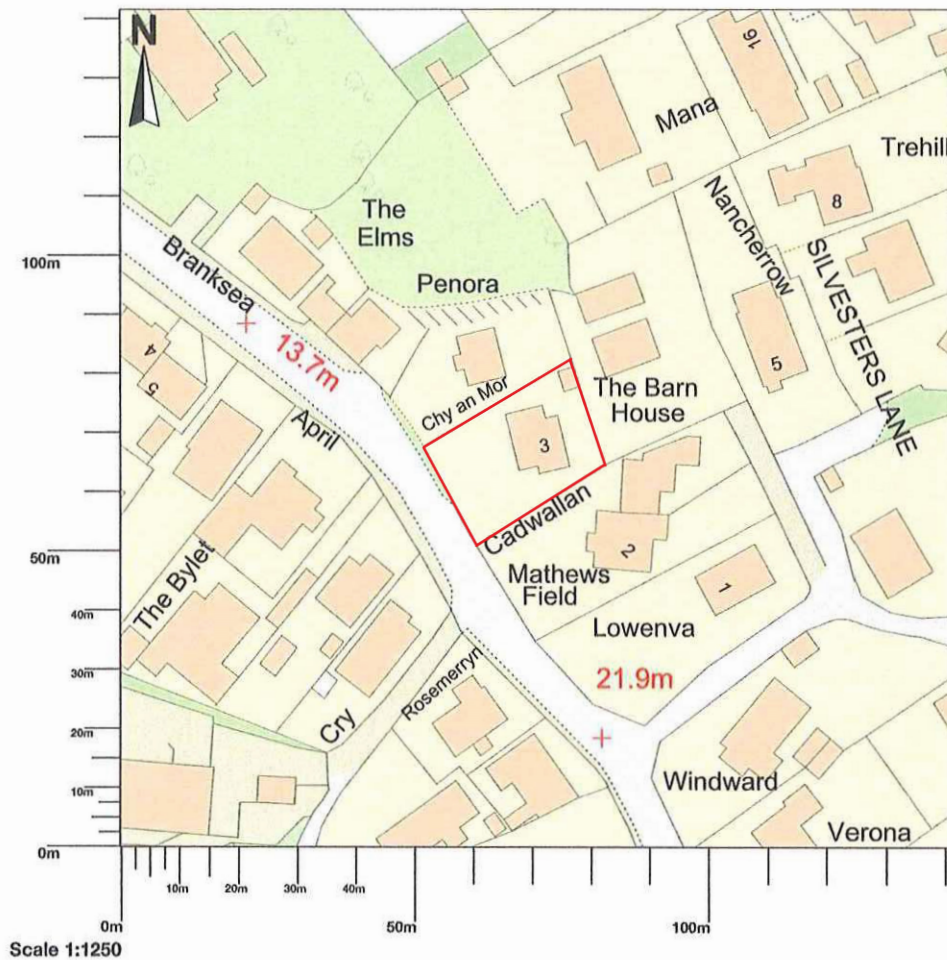
Reason: To promote measures to enhance biodiversity on the Isles of Scilly and in accordance with the requirements of Policies SS1(d) and SS2(g) of the Isles of Scilly Local Plan (2015-2030).

Condition C3 is pre-commencement in nature. The applicant has not been provided with 10 working days to comment on this condition, as required by the Town and Country Planning (Pre-Commencement Conditions) Regulations 2018.

Lisa Walton MRTPI
Chief Planning Officer
Council of the Isles of Scilly



Westward Ledge, Church Road, St. Mary'S, Isles Of Scilly, TR21 0NA



Map area bounded by: 90706,10414 90848,10556. Produced on 11 July 2021 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: p2cuk/659784/894057



Westward Ledge, Church Road, St. Mary'S, Isles Of Scilly, TR21 0NA



P/21/05-03 Existing Elevations

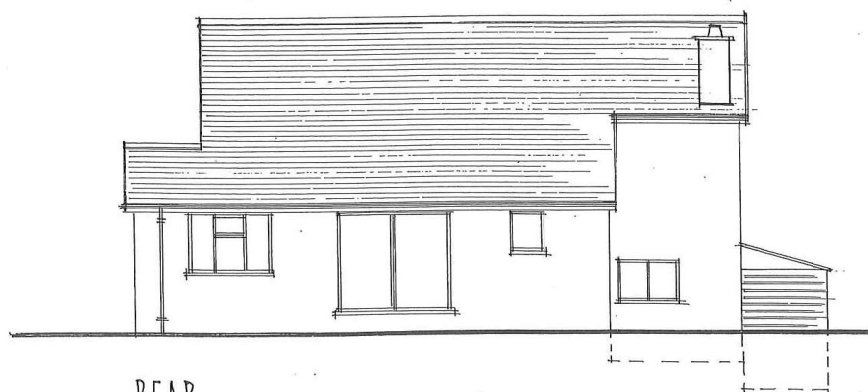
EXISTING



FRONT ELEVATION



SOUTH



REAR



NORTH

RECEIVED

By Emma Kingwell at 3:00 pm, Jul 05, 2021

WESTWARD LEDGE
CHURCH ROAD
ST. MARY'S

MR & MRS R. JACKMAN

EXISTING ELEVATIONS

DATE - 28th June 2021

SCALE - 1:100

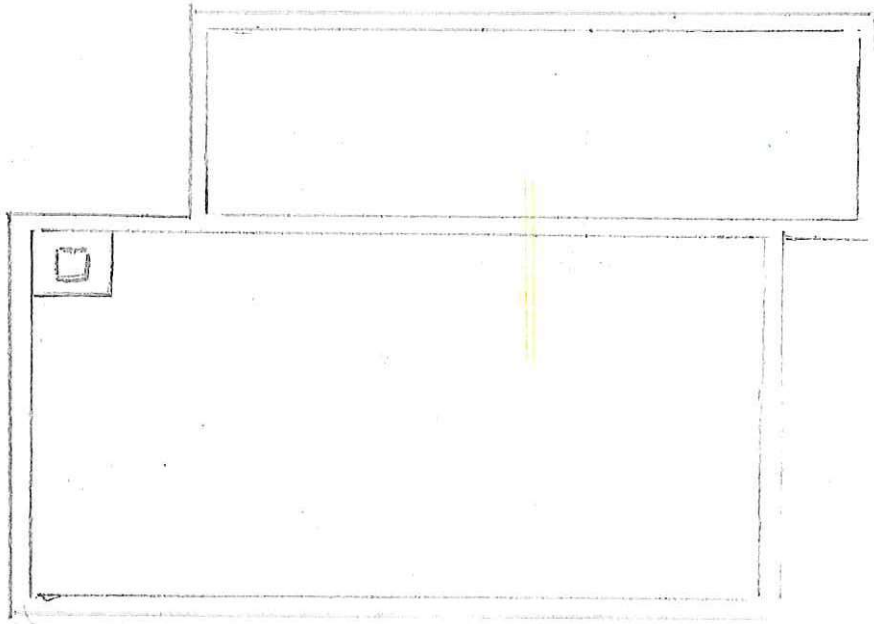
RTJACKMAN
WESTWARD LEDGE
ST MARY'S
ISLES OF SCILLY
TR21 ONA

RTV 1

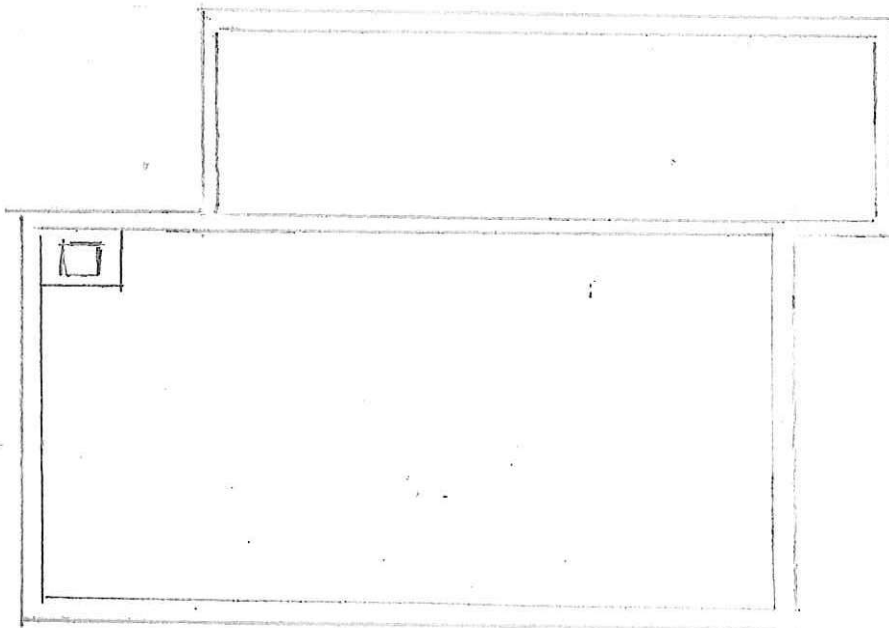
WESTWARD LEDGE

P/21/054-04 Existing & Proposed Roof Space Plan

EXISTING ROOF SPACE



PROPOSED ROOF SPACE

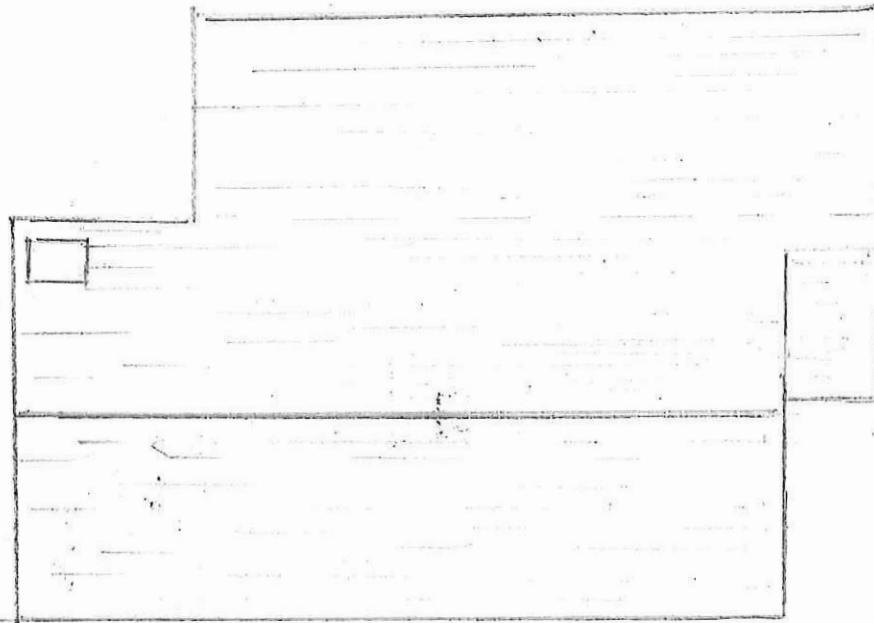


SCALE 1 : 100

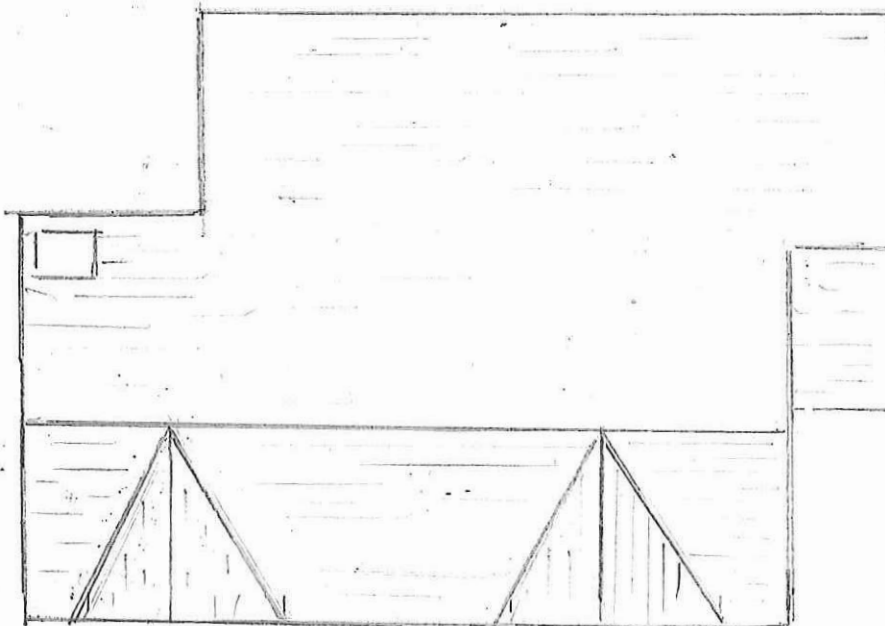
WESTWARD LEDGE

P/21/054-05 Existing & Proposed Roof Plan

EXISTING ROOF



PROPOSED ROOF



SCALE 1 : 100

P/21/054-06 Proposed Elevations

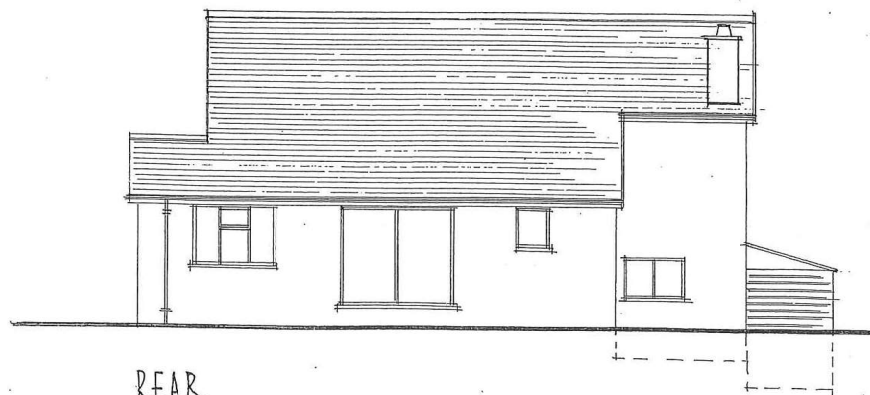
PROPOSED



FRONT ELEVATION



SOUTH



REAR



NORTH

WESTWARD LEDGE
CHURCH ROAD
ST. MARY'S

MR & MRS R. JACKMAN

PROPOSED ELEVATIONS
SHOWING NEW
FRONT DOORERS

DATE - 28th June 2021

SCALE - 1:100

R. JACKMAN
& LOWER STRAND
ST. MARY'S
TR21 OPS

R.T. 1

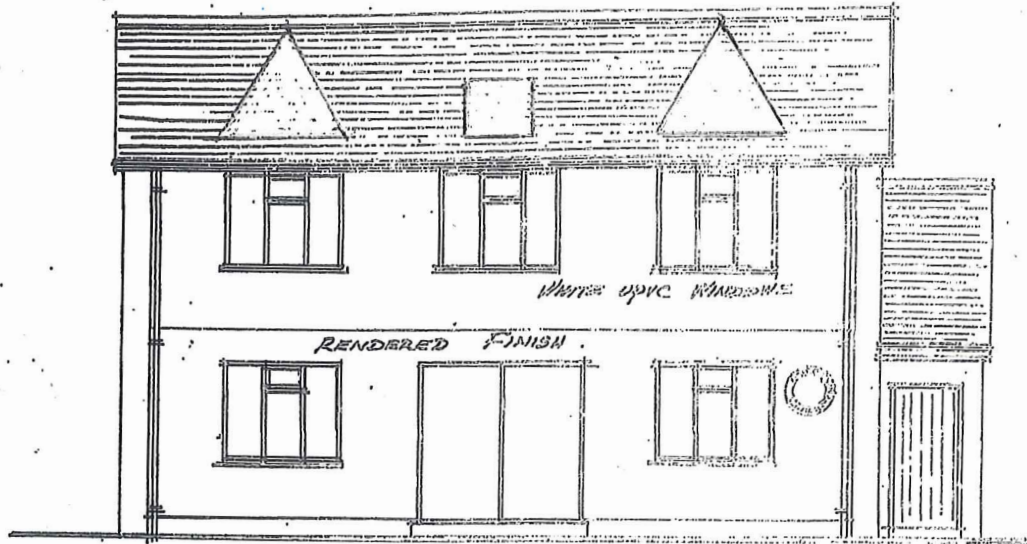
RECEIVED

By Lisa Walton at 4:05 pm, Oct 06, 2021

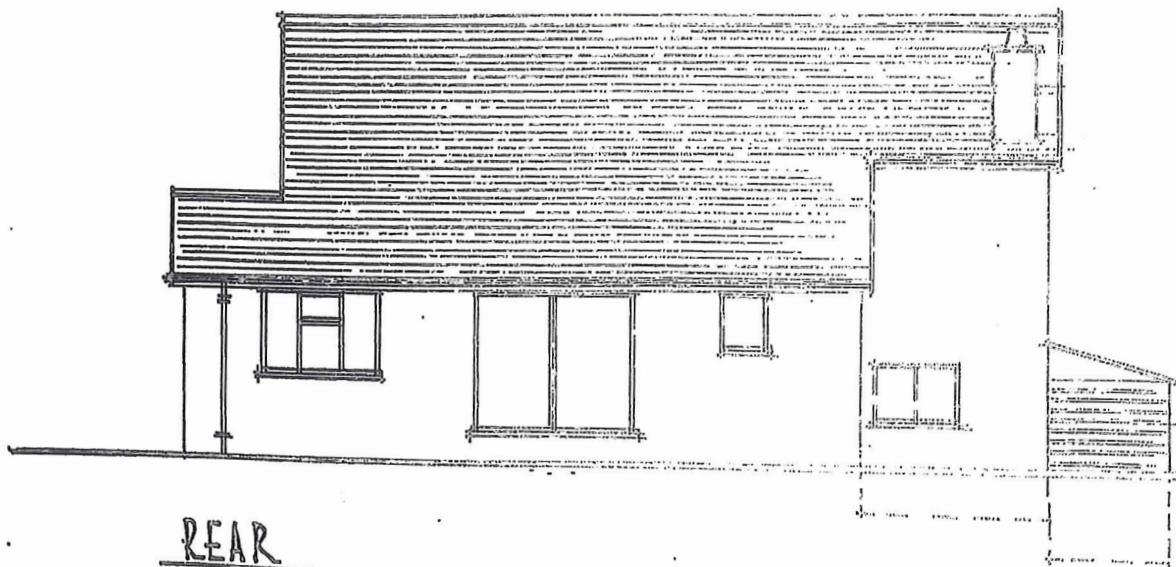
P/21/054/HM

PROPOSED

P/21/054-07 Proposed Elevations AMENDED



FRONT ELEVATION



REAR

P/21/054 / HH

PROPOSED



SOUTH



NORTH

WESTWARD LEDGE
CHURCH ROAD
St. MARYS

MR & MRS R. JACKMAN

DATE - 28th June 2021

SCALE - 1:100

BY SPARKMAN
WESTWARD LEDGE
ST. MARYS
ISLES OF SCOTLAND
TRINIDAD

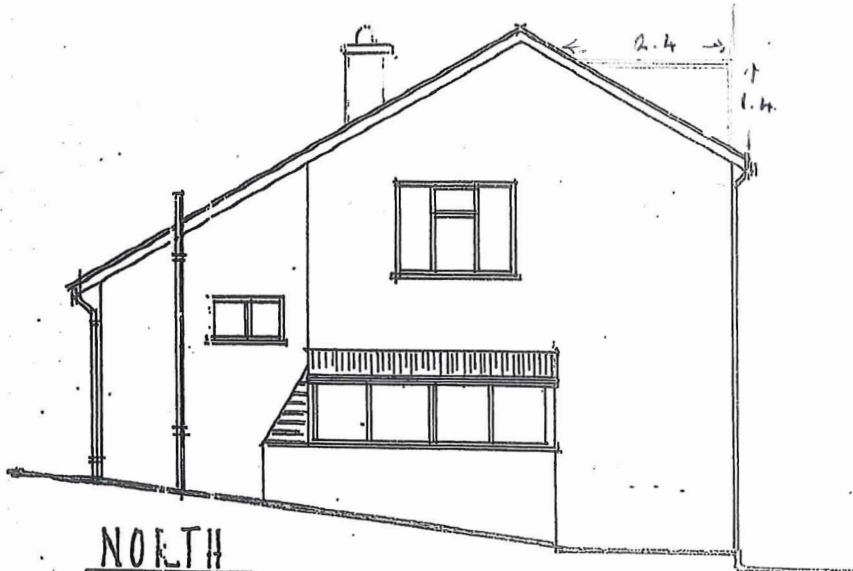
REV. 1

WESTWARD LEDGE
CHURCH ROAD
St. MARYS

MR & MRS R. JACKMAN



SOUTH



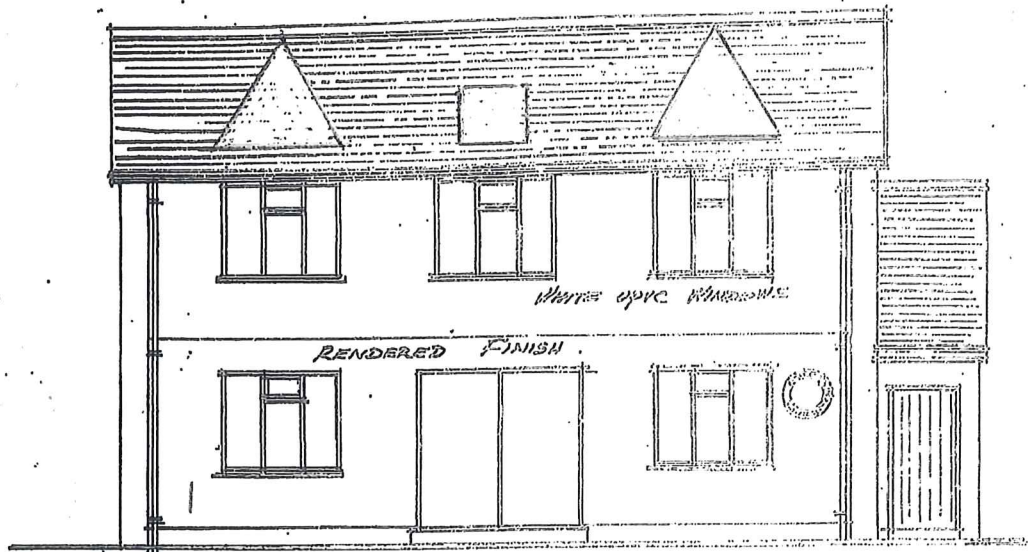
NORTH

DATE - 28th Oct 2021

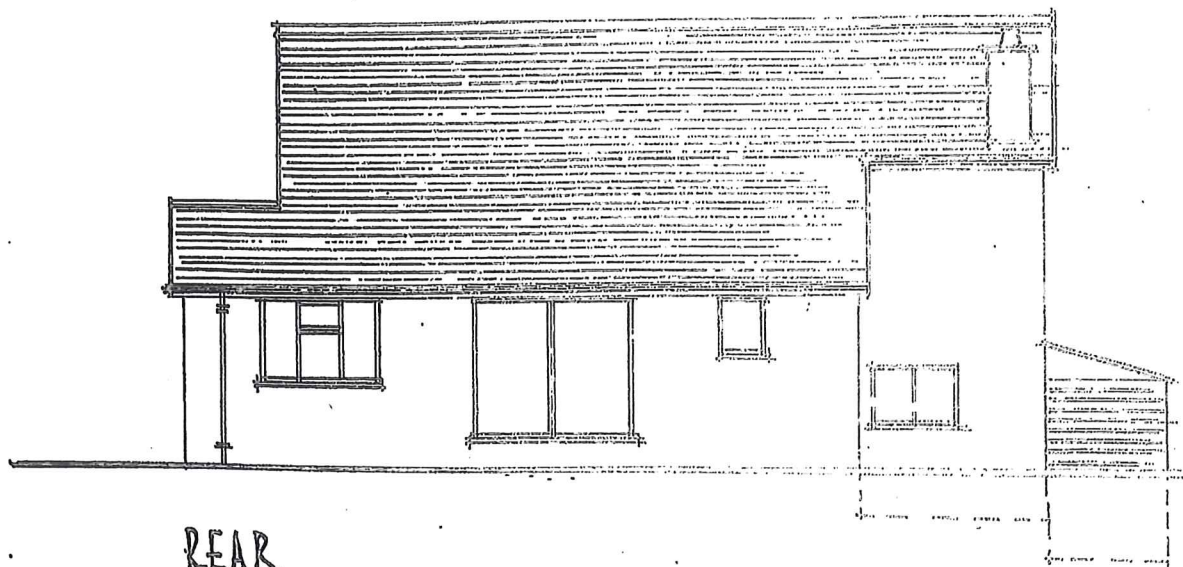
SCALE - 1 : 100

R. J. JACKMAN
WESTWARD LEDGE
ST. MARYS
15th OF SEP 2021
1221 CWA

RTJ (1)



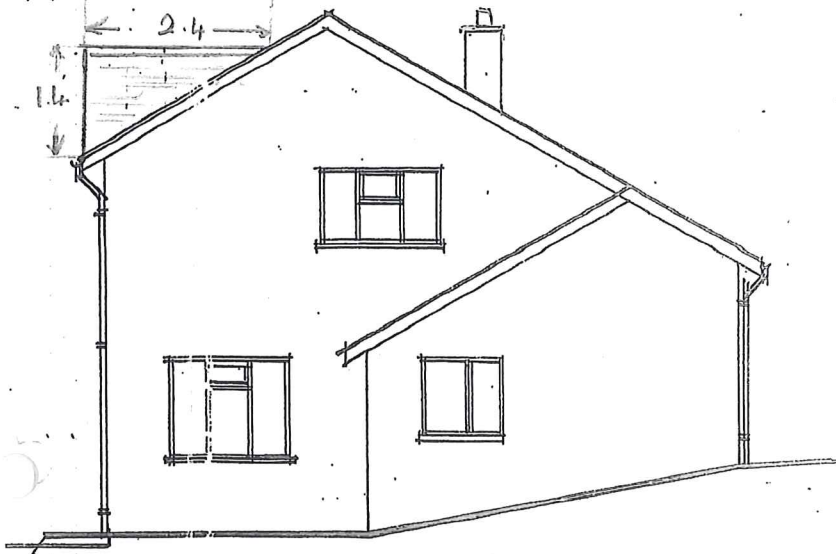
FRONT ELEVATION



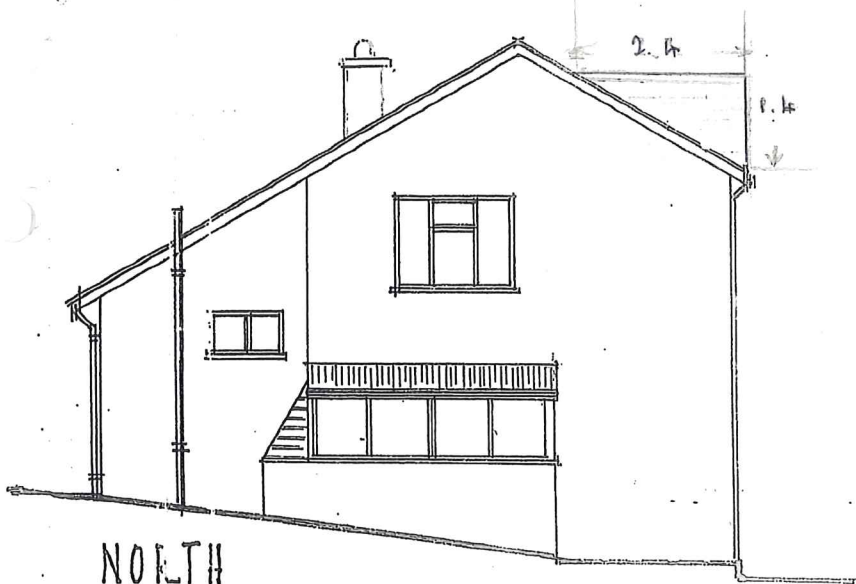
P. 1 (1)

WESTWARD LEDGE
CHURCH ROAD
ST. MARYS

MR & MRS R. JACKMAN:



SOUTH



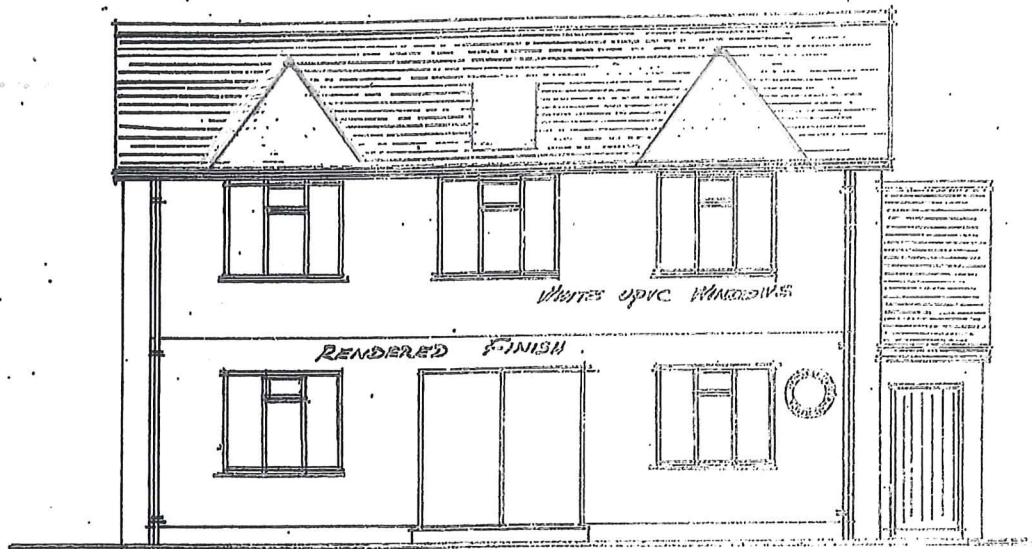
NORTH

DATE - 28th OCT. 2021

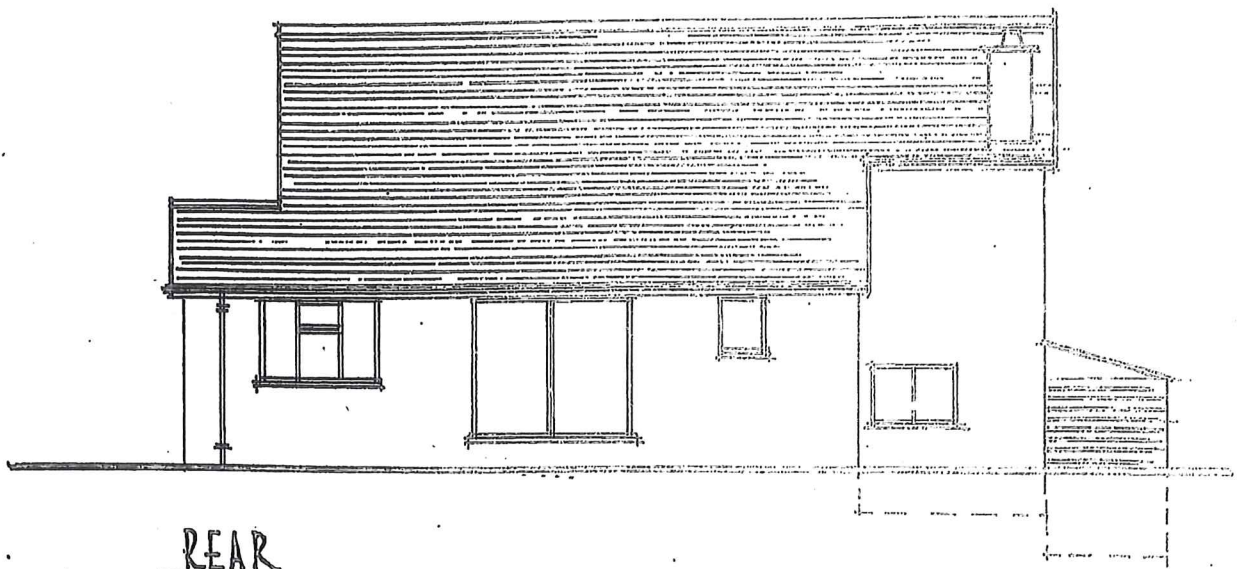
SCALE - 1 : 100

R. JACKMAN
WESTWARD LEDGE
ST. MARYS
15/05/2021
TR21 CWA

TR21 (2)



FRONT ELEVATION



REAR

P/21/054-10 SWMP

WESTWARD LEDGE, CHURCH ROAD, ST MARY'S

PROPOSED ROOF ALTERATIONS

SUPPORTING STATEMENT

The application is submitted with a view to improve the external appearance of the building and provide more internal headroom. The detached house at present looks rather bland, and its appearance would be enhanced with the introduction of two dormers, reflecting the features on the neighbouring properties at Chy An Mor and 2 Matthews Field. The loft area is used as storage, and that use would continue. The provision of roof lights would have the benefit of natural light, lessening the use of the electric lighting used at present in the roof space.

WASTE MANAGEMENT PLAN

Parts of the existing roof will need to be removed for the proposed work to proceed. Items of waste, which will be quite minimal, will include slates, roofing felt, and timber roof battens. The timber will be recycled for kindling, the other items will be sent for disposal to the council recycling centre via Richard Hand Haulage.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

☎0300 1234 105

✉planning@scilly.gov.uk

APPEAL AT

WESTWARD LEDGE, CHURCH ROAD, ST MARYS ISLES OF SCILLY

APPEAL REFERENCE: APP/Z0835/D/22/3290086

QUESTIONNAIRE part Q12)a)ii)

LIST OF PLANS SUBMITTED WITH APPLICATION P/21/054/HH

- P/21/054-01 Location Plan
- P/21/054-02 Site Plan
- P/21/054-03 Existing Elevations
- P/21/054-04 Existing & Proposed Roof Space Plan
- P/21/054-05 Existing & Proposed Roof Plan
- P/21/054-06 Proposed Elevations
- P/21/054-07 Proposed Elevations AMENDED
- P/21/054-08 Proposed Elevations AMENDED 2
- P/21/054-09 Proposed Elevations AMENDED 3
- P/21/054-10 SWMP

PLANS UNDER CONSIDERATION AT TIME APPLICATION DECIDED (all amended plans were withdrawn)

- P/21/054-01 Location Plan (Plan 1 on Decision Notice)
- P/21/054-02 Site Plan
- P/21/054-03 Existing Elevations
- P/21/054-04 Existing & Proposed Roof Space Plan (Plan 4 on Decision Notice)
- P/21/054-05 Existing & Proposed Roof Plan (Plan 3 on Decision Notice)
- P/21/054-06 Proposed Elevations (Plan 2 on Decision Notice)
- P/21/054-10 SWMP



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455

✉planning@scilly.gov.uk

Owner / Occupier
Barn House
Church Road
Hugh Town
St Mary's
Isles Of Scilly
TR21 0NA

Q 12)b)i Neighbour letter sent to:

The Annex, Barn House
Barn House
Cadwallon
Chy-An-Mor
2 Matthews Field
(All Church Road, St Mary's, Isles of Scilly)

19th July 2021

Dear Owner/Occupier

PLANNING REFERENCE

P/21/054/HH

LOCATION:

Westward Ledge, Church Road, Hugh Town, St Mary's.

DEVELOPMENT PROPOSED:

Roof alteration for introduction of two dormers plus velux roof light.

APPLICANT:

Mr R Jackman

This letter is to advise you that a planning application has been made for the development mentioned above.

Copies of the application, plans and other documents submitted with it are available for inspection by members of the public online at www.scilly.gov.uk. Hard copies of the plans are currently unavailable to view in person however please call the department and leave a message if you are unable to view plans electronically and we will get back to you to discuss.

Should you wish to make any comments on this application, please make them in writing to the Planning Department, Town Hall, The Parade, St Mary's, Isles of Scilly TR21 0LW or preferably by email to planning@scilly.gov.uk by **9th August 2021**. If your comments are received any later, you should be aware that the application may have already been determined. **Please quote the Planning Reference P/21/054/HH in your reply.** Please note that postal communication may currently experience slight delays.

In the event an appeal is made against a decision of the Council to refuse to grant planning permission for the proposed development, and that appeal then proceeds by way of expedited procedure under the written representations procedure, any representations made to the Council about this application will be passed to the Secretary of State and there will be no opportunity to make further representations.

Under the provisions of the Local Government (Access to Information) Act 1985 you should be aware that any comments you make are not confidential and may be read by any person who so wishes.

Yours faithfully,

Lisa Walton
Senior Officer: Planning and Development Management
19th July 2021



COUNCIL OF THE ISLES OF SCILLY PLANNING DEPARTMENT

Town Hall, The Parade, St Mary's TR21 0LW
Telephone: 0300 1234 105 Email: planning@scilly.gov.uk

Planning (Listed Buildings and Conservation Areas) Act 1990
Planning (Control of Advertisements) (England) Regulations 2007
Planning (Listed Buildings and Conservation Areas) Regulations 1990
Town and Country Planning (Development Management Procedure) (England) Order 2015

The Council has received the following application for Householder to carry out development.

PLANNING REFERENCE	P/21/054/HH
LOCATION:	Westward Ledge, Church Road, Hugh Town, St Mary's.
DEVELOPMENT PROPOSED:	Roof alteration for introduction of two dormers plus velux roof light.
APPLICANT:	Mr R Jackman
REASON FOR NOTICE:	Conservation Area

Copies of the application, plans and other documents submitted with it are available for inspection by members of the public online at www.scilly.gov.uk. Hard copies of the plans are currently unavailable to view in person however please call the department and leave a message if you are unable to view plans electronically and we will get back to you to discuss.

Should you wish to make any comments on this application, please make them in writing to the Planning Department, Town Hall, The Parade, St Mary's, Isles of Scilly TR21 0LW or preferably by email to planning@scilly.gov.uk by 10th August 2021. Please note that postal communication may currently experience slight delays.

In the event an appeal is made against a decision of the Council to refuse to grant planning permission for the proposed development, and that appeal then proceeds by way of expedited procedure under the written representations procedure, any representations made to the Council about this application will be passed to the Secretary of State and there will be no opportunity to make further representations.

Signed: Lisa Walton, on behalf of the Council of the Isles of Scilly

Date: 20th July 2021



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

☎0300 1234 105

✉planning@scilly.gov.uk

APPEAL AT

WESTWARD LEDGE, CHURCH ROAD, ST MARYS ISLES OF SCILLY

APPEAL REFERENCE: APP/Z0835/D/22/3290086

QUESTIONNAIRE part Q12)b)i)

List of parties neighbour notifications sent to

Parties sent to:

- Owners/Occupiers, 2 Matthews Field, Church Road, St Mary's, Isles of Scilly, TR21 0NA
- Owners/Occupiers, The Barn, Church Road, St Mary's, Isles of Scilly, TR21 0NA
- Owners/Occupiers, The Barn Annex, Church Road, St Mary's, Isles of Scilly, TR21 0NA
- Owners/Occupiers, Cadwallan, Church Road, St Mary's, Isles of Scilly, TR21 0NA
- Owners/Occupiers, Chy An Mor, Church Road, St Mary's, Isles of Scilly, TR21 0NA



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

☎0300 1234 105

✉planning@scilly.gov.uk

APPEAL AT

WESTWARD LEDGE, CHURCH ROAD, ST MARYS ISLES OF SCILLY

APPEAL REFERENCE: APP/Z0835/D/22/3290086

QUESTIONNAIRE part Q12)b)ii)

LIST OF CORRESPONDENCE

- Extension of Time Agreement 22/09/2021
- Extension of Time Agreement 15/10/2021
- Letter to Applicant in response to P/21/054-07 Proposed Elevations AMENDED
- Letter to Applicant regarding verbal Building Inspector comments
- Letter from Applicant regarding further amended plans (Proposed Elevations AMENDED 2&3)
- Letter to Applicant to confirm amended plan option and clarify accuracy
- Letter from Applicant withdrawing all amended plans



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

Tel: 07871 982537

email: planning@scilly.gov.uk

Please ask for: Lisa Walton

Our Ref: P/21/054/HH

Mr R Jackman
Westward Ledge
Church Road
St Marys
Isles Of Scilly
TR21 0NA

Email only: Raymond Jackman [REDACTED]

13th September 2021

Dear Mr Jackman,

Re: Post Submission Extension of Time Agreement (EOT)

PLANNING REFERENCE	P/21/054/HH
DEVELOPMENT PROPOSED:	Roof alteration for introduction of two dormers plus velux roof light.
LOCATION:	Westward Ledge, Church Road, Hugh Town, St Mary's, Isles Of Scilly, TR21 0NA

The Council of the Isles of Scilly has adopted a development management approach to the facilitation of development proposals. In doing so it has accepted that dealing with some planning applications within the statutory timescales is not always possible given the sensitive environmental constraints. In this case additional time is required to enable you to provide clarification over the use of the roofspace in order for the Local Planning Authority to understand the change in floorspace, as per our email correspondence of 6th September 2021.

We would like to work with you to allow further time to enable the application to be fully considered and a positive recommendation reached if possible, in light of the Local Plan policy LC8. This policy requires extensions to existing homes to be no more than 30% above the Nationally Described Space Standards. So I would need to fully understand the use of the roofspace, particularly as the proposed dormer windows are particularly large. If the use of the roofspace is proposed to contain bedrooms then I would need you to provide 'proposed floor plans'. An extension of time therefore is requested up to the 24th September 2021.

Your agreement would enable the application to be kept open beyond the original 8 week deadline of **10th September 2021**. This would be at nil cost to you, but would enable the Council to keep the case open whilst maintaining a dialogue with you.

If you are agreeable to entering in to the Extension Of Time (EOT) then I would request that the attached is signed and returned to me at the Council of the Isles of Scilly. By entering into a EOT with the LPA you can expect the following:

- An opportunity for ongoing dialogue and negotiation on the planning application;
- Further meetings with the case officer (where necessary) to resolve any outstanding planning matters;
- A revised target date with a commitment to an ongoing review; and
- A commitment from the Council to issue the planning permission within the period agreed.

Please contact me should you wish to discuss this further and we look forward to receiving your signed response. We would recommend that you keep a copy of this for your records.

Yours Sincerely

A black rectangular redaction box covering the signature area.

Extension of Time Agreement

LPA Planning Reference: P/21/054/HH

Site Address: Westward Ledge, Church Road, Hugh Town, St Mary's, Isles Of Scilly, TR21 0NA

Please return to:

Planning Department
Council of the Isles of Scilly
Town Hall
St Mary's
Isles of Scilly
TR21 0LW

Email: lisa.walton@scilly.gov.uk

This Extension of Time Agreement is entered into by the applicants and the Local Planning Authority to ensure that the outstanding matters regarding the planning application can be successfully resolved and a decision reached.

In return for signing this EOT we understand that there will be:

- An opportunity for ongoing dialogue and negotiation on the planning application;
- Further meetings with the case officer and other specialists (where necessary) to resolve any outstanding planning matters;
- A commitment from the Isles of Scilly Council to issue the planning permission within the extended date agreed.

There is no additional fee required for this service and it does not prejudice your/the applicant's ability to appeal non-determination should this become appropriate.

Whilst the LPA will endeavour to resolve all planning issues with your case nothing in this EOT shall restrict the Council of the Isles of Scilly properly exercising its role as the Local Planning Authority. Similarly, nothing in this EOT fetters the Council's statutory powers to grant or refuse planning permission.

Target Date for Issuing a Decision unless otherwise agreed: **01/10/2021**

To be filled out following agreement by both parties

Signed on behalf of the **LPA** on: Date: 22/09/2021


Print Name: Lisa Walton

Signed: 

Signed and dated by or on behalf of the **APPLICANT** on: Date: 22/09/2021

Print Name: RAYMOND THOMAS LACUMAS

Signed: 

I am the app  behalf of the applicant: Y/N



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

Tel: 07871 982537

email: planning@scilly.gov.uk

Please ask for: Lisa Walton

Our Ref: P/21/054/HH

Mr R Jackman
Westward Ledge
Church Road
St Marys
Isles Of Scilly
TR21 0NA

Email only: Raymond Jackman [REDACTED]

6th October 2021

Dear Mr Jackman,

Re: Post Submission Extension of Time Agreement (EOT)

PLANNING REFERENCE

P/21/054/HH

DEVELOPMENT PROPOSED:

Roof alteration for introduction of two dormers plus velux roof light.

LOCATION:

Westward Ledge, Church Road, Hugh Town, St Mary's, Isles Of Scilly, TR21 0NA

The Council of the Isles of Scilly has adopted a development management approach to the facilitation of development proposals. In doing so it has accepted that dealing with some planning applications within the statutory timescales is not always possible given the sensitive environmental constraints. In this case additional time is required to enable you to provide amended plans, as per our previous email correspondence.

We would like to work with you to allow further time to enable the application to be fully considered and a positive recommendation reached if possible, in light of the Local Plan policy LC8. This policy requires extensions to existing homes to be no more than 30% above the Nationally Described Space Standards. So I would need to fully understand the use of the roofspace, particularly as the proposed dormer windows are particularly large. If the use of the roofspace is proposed to contain bedrooms then I would need you to provide 'proposed floor plans'. An extension of time therefore is requested up to the 15th October 2021.

Your agreement would enable the application to be kept open beyond the original 8 week deadline of **10th September 2021 (and previous extension of time of 24th September)**. This would be at nil cost to you, but would enable the Council to keep the case open whilst maintaining a dialogue with you.

If you are agreeable to entering in to the Extension Of Time (EOT) then I would request that the attached is signed and returned to me at the Council of the Isles of Scilly. By entering into a EOT with the LPA you can expect the following:

- An opportunity for ongoing dialogue and negotiation on the planning application;
- Further meetings with the case officer (where necessary) to resolve any outstanding planning matters;
- A revised target date with a commitment to an ongoing review; and
- A commitment from the Council to issue the planning permission within the period agreed.

Please contact me should you wish to discuss this further and we look forward to receiving your signed response. We would recommend that you keep a copy of this for your records.

Yours Sincerely

A handwritten signature in dark ink, appearing to read 'Lisa Walton', written in a cursive style.

Lisa Walton
Chief Planning Officer

Extension of Time Agreement

LPA Planning Reference: P/21/054/HH

Site Address: Westward Ledge, Church Road, Hugh Town, St Mary's, Isles Of Scilly, TR21 0NA

Please return to:

Planning Department
Council of the Isles of Scilly
Town Hall
St Mary's
Isles of Scilly
TR21 0LW

Email: lisa.walton@scilly.gov.uk

This Extension of Time Agreement is entered into by the applicants and the Local Planning Authority to ensure that the outstanding matters regarding the planning application can be successfully resolved and a decision reached.

In return for signing this EOT we understand that there will be:

- An opportunity for ongoing dialogue and negotiation on the planning application;
- Further meetings with the case officer and other specialists (where necessary) to resolve any outstanding planning matters;
- A commitment from the Isles of Scilly Council to issue the planning permission within the extended date agreed.

There is no additional fee required for this service and it does not prejudice your/the applicant's ability to appeal non-determination should this become appropriate.

Whilst the LPA will endeavour to resolve all planning issues with your case nothing in this EOT shall restrict the Council of the Isles of Scilly properly exercising its role as the Local Planning Authority. Similarly, nothing in this EOT fetters the Council's statutory powers to grant or refuse planning permission.

Target Date for Issuing a Decision unless otherwise agreed: 15/10/2021

To be filled out following agreement by both parties

Signed on behalf of the **LPA** on: Date: 06/10/2021

Print Name: Lisa Walton

Sign: [Redacted]

Signed and dated by or on behalf of the **APPLICANT** on: Date: 7th October 2021

Print Name: RAYMOND JACKMAN

Signed: [Redacted]

I am the applicant: Y/N

I am acting on behalf of the applicant: ☒ Y ☐ N





Letter to Applicant in response to P/21/054-07 Proposed Elevations AMENDED

COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

Tel: 07871 982537

email: planning@scilly.gov.uk

Please ask for: Lisa Walton

Our Ref: P/21/054/HH

Mr R Jackman
Westward Ledge
Church Road
St Marys
Isles Of Scilly
TR21 0NA

Email only: Raymond Jackman [REDACTED]

7th October 2021

Dear Mr Jackman,

PLANNING REFERENCE

P/21/054/HH

DEVELOPMENT PROPOSED:

Roof alteration for introduction of two dormers plus velux roof light.

LOCATION:

Westward Ledge, Church Road, Hugh Town, St Mary's, Isles Of Scilly, TR21 0NA

Thank you for the submission of amended plans that show the proposed dormers to be smaller and set-back from the front of the building, this does reduce some of the bulk. I have now had a chance to discuss this proposal with the Building Inspector, and in order that I am able to understand the proposed changes, he has recommended that I request (1) existing and proposed scaled ridge height plans for the property, in addition to (2) a scaled section drawing showing each floor (existing and proposed). Due to the shallow pitch of the roof and the limited head height, the installation of dormers up to the ridge is likely to require you to alter the existing roof. I would therefore request that you provide these details (1) and (2) so we can understand the extent of any changes that take place during the construction process, should permission be granted.

You are reminded that the boarding out of any space and the fixing of a permanent stepped access (stairs or ladder) would be considered habitable from a Building Control perspective. As you are not applying to convert this space into habitable accommodation, these types of changes would not be permitted.

In order that I am able to conclude on this application please can you provide scaled plans (1) and (2) as requested above.

Yours Sincerely

Lisa Walton
Chief Planning Officer



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

Tel: 07871 982537

email: planning@scilly.gov.uk

Please ask for: Lisa Walton

Our Ref: P/21/054/HH

Mr R Jackman
Westward Ledge
Church Road
St Marys
Isles Of Scilly
TR21 0NA

Email only: Raymond Jackman [REDACTED]

25th October 2021

Dear Mr Jackman,

**PLANNING REFERENCE
DEVELOPMENT PROPOSED:**

P/21/054/HH

Roof alteration for introduction of two dormers plus velux roof light (Amended Plans).

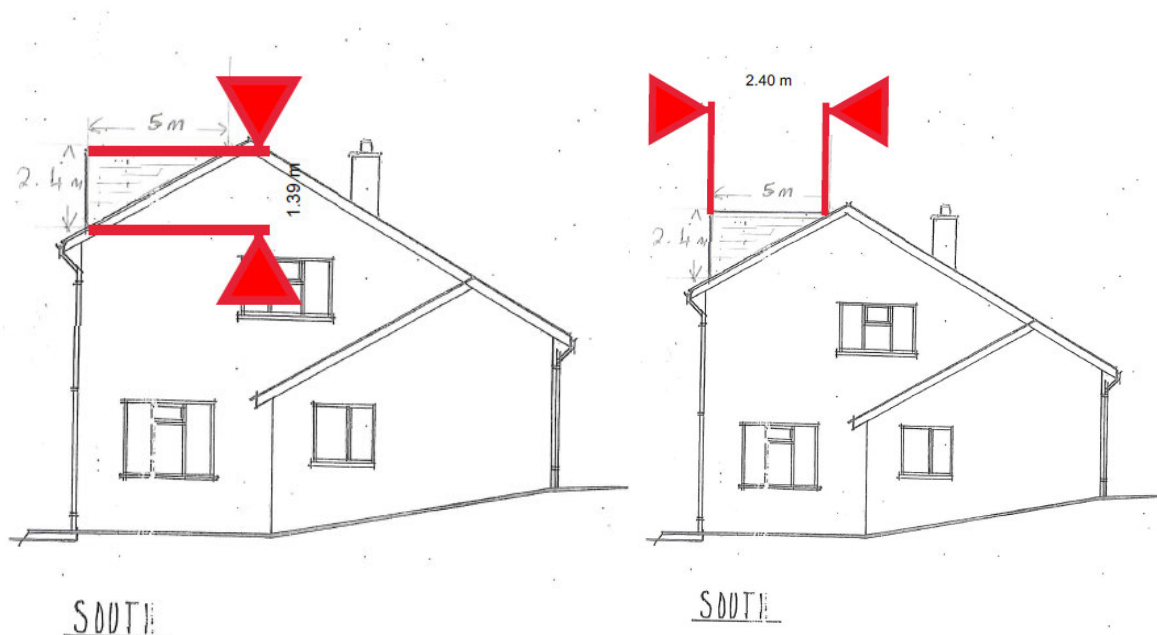
LOCATION:

Westward Ledge, Church Road, Hugh Town, St Mary's, Isles Of Scilly, TR21 0NA

Thank you for the submission of additional plans (1) existing and proposed scaled ridge height plans for the property and (2) a scaled section drawing showing each floor (existing and proposed). I have now had a chance to check these with the Building Inspector. The annotated dimensions of the dormers do not match the actual 'drawn to' scale. As you can see below, the head height is closer to 1.4 metres, not the 2.4 metres shown, and the depth of the dormer is closer to 2.4 metres not the 5 metres shown. We cannot make a decision when the plans submitted are not accurately drawn or show inconsistencies.

As advised to you previously the space within the loft, which you have stated will not change from the current uninhabitable storage use, following the construction of the dormer windows, will require approval under the building regulations if you board-out this space or attach permanently fixed ladders or stairs. At which point, it becomes recognised as habitable for the purposes of the Building Regulations, which would not be approved as the minimum head height would not be achievable. You would therefore not get approval under the Building Regulations without deviating away from these planning drawings and increasing the height of the roof overall, which you are not applying to do. Increasing the height of the roof would require planning permission.

Creating habitable accommodation within the roof void, as the submitted amended plans would strongly suggest, would exceed the maximum space standards and as such would be contrary to Policy LC8 of the Local Plan. The proposed dormer windows would appear to be for the purpose of creating habitable space and as such, if this is the case, the application would have to be refused.



Unless you are able to amend the plans down to a scale which is purely for aesthetic purposes, as previously suggested, shown below. Then it would appear that the space being created would likely be used as habitable accommodation.



Yours Sincerely,

Lisa Walton

Lisa Walton
Chief Planning Officer

Letter from Applicant regarding further amended plans

Ray Jackman
Westward Ledge
Church Road
St Marys
Isles of Scilly
TR21 0NA

Lisa Walton
Chief Planning Officer
Council of the Isles of Scilly
Town Hall
St Marys TR21 OLW

28TH October 2021

Dear Mrs Walton

RE - P/21054/HH

Thank you for your letter of 25th October 2021.



With regard to the dimensions, I had read the scale wrong, but have now placed the correct figures on the drawings, enclosed (1). Subject to planning approval, a more comprehensive set of drawings would be submitted for the construction of the dormers to NHBC standards for building regulation approval.

You may recall there was also another option drawn up for the dormers, with the same dimensions, but to be lower, and start at the eaves. I enclose these drawings for your consideration (2), and this option resembles more to the suggestion put forward by yourself.

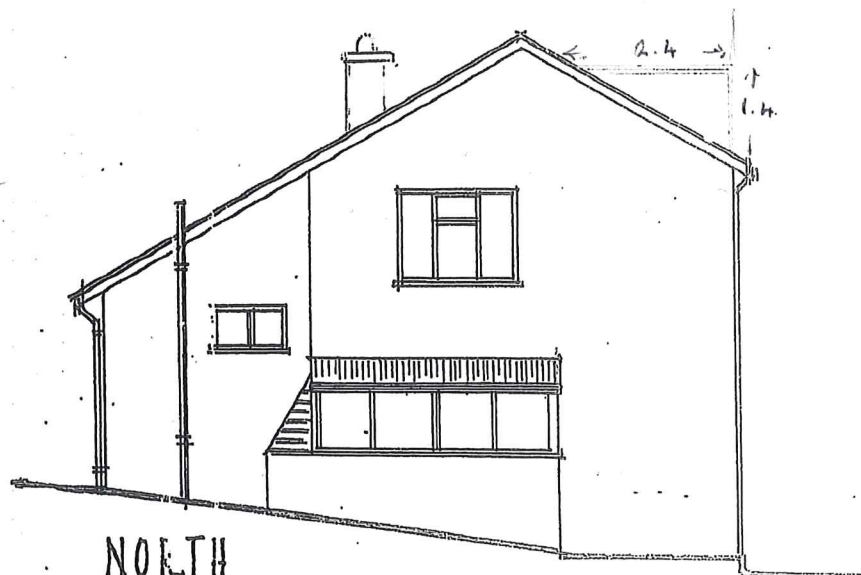
I once again confirm that there is no intention in this application for development for habitable purposes, and a condition to that effect could be placed on any approval. In the third paragraph of your letter, you refer to proposed dormer windows, which is of course incorrect, as they are not windows, as there is no glazing. There is also, no intention to raise the roof height.

Yours sincere

R T JACKMAN



SOUTH



NORTH

WESTWARD LEDGE
CHURCH ROAD
ST. MARYS

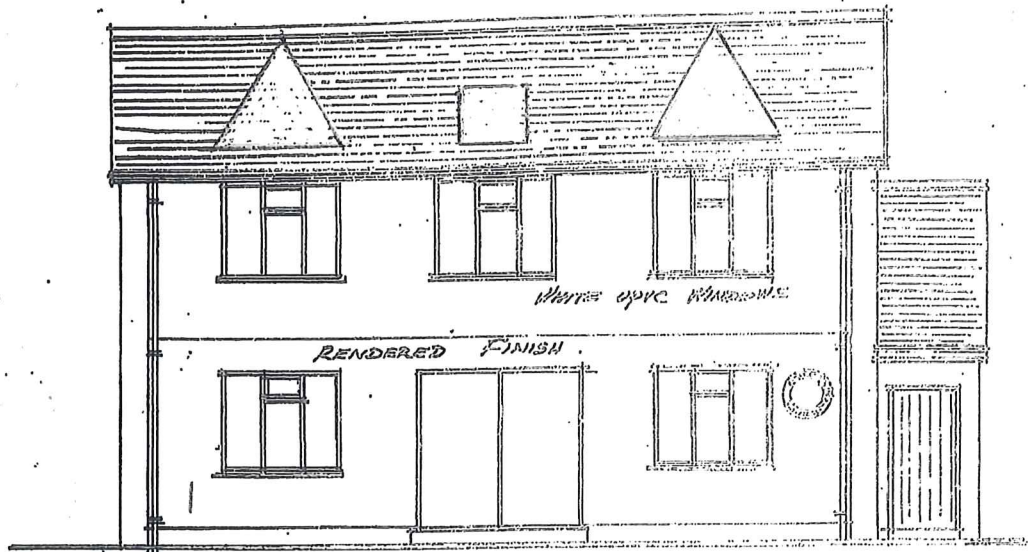
MR & MRS R. JACKMAN

DATE - 28th Oct 1921

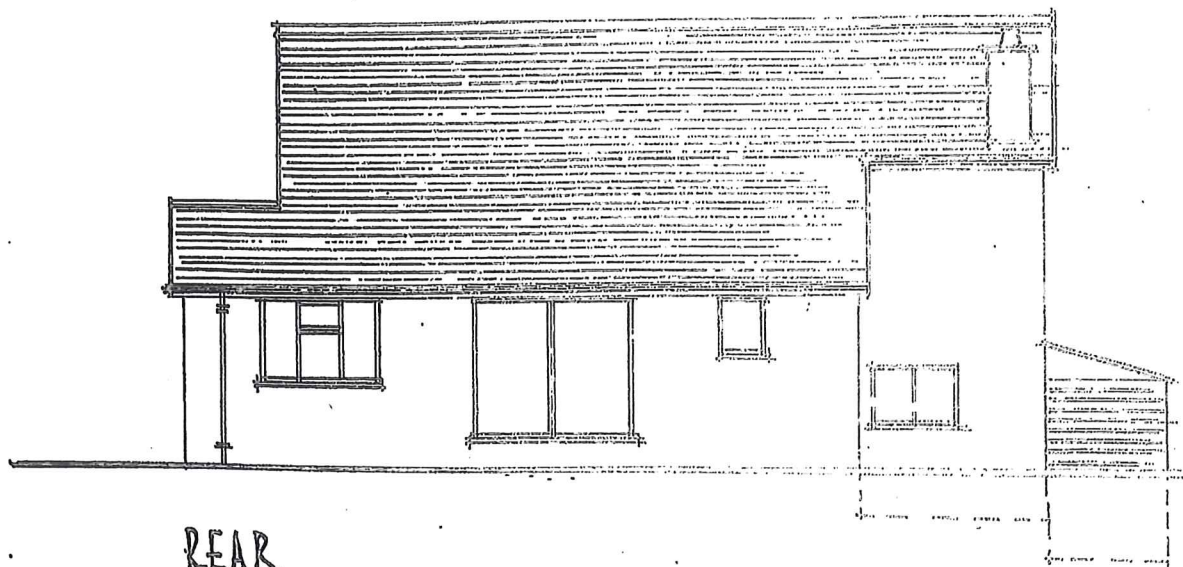
SCALE - 1 : 100

R. J. JACKMAN
WESTWARD LEDGE
ST. MARYS
15th OF SUMMER
1921 CWA

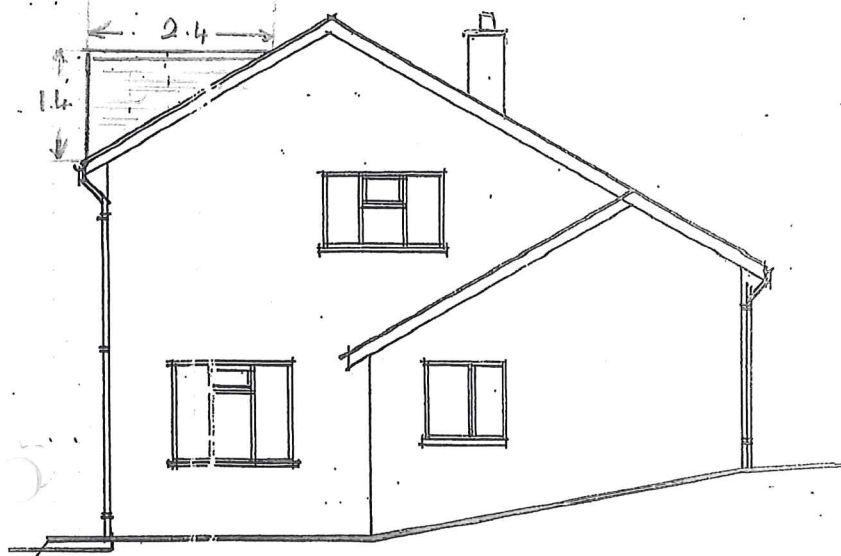
R. J. (1)



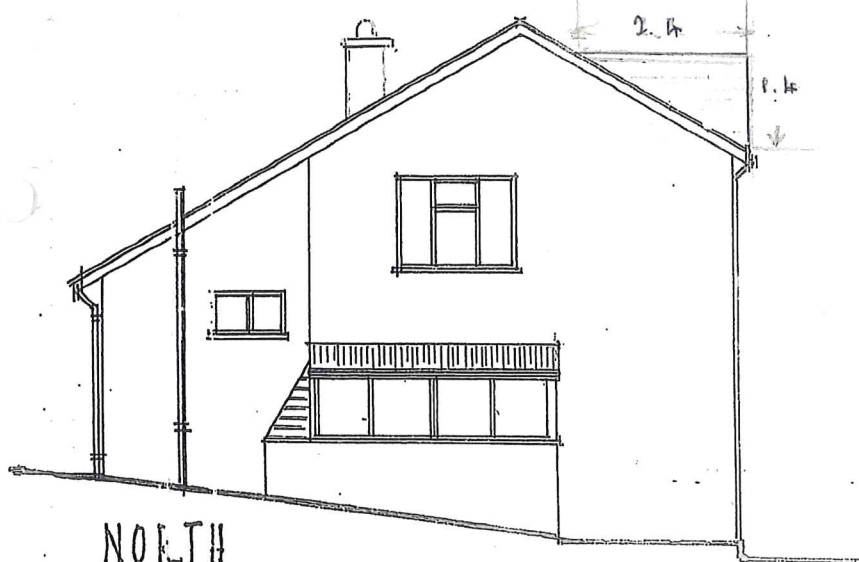
FRONT ELEVATION



P. 1 (1)



SOUTH



NORTH

WESTWARD LEDGE
CHURCH ROAD
ST. MARYS

MR & MRS R. JACKMAN:

DATE - 28th OCT. 2021

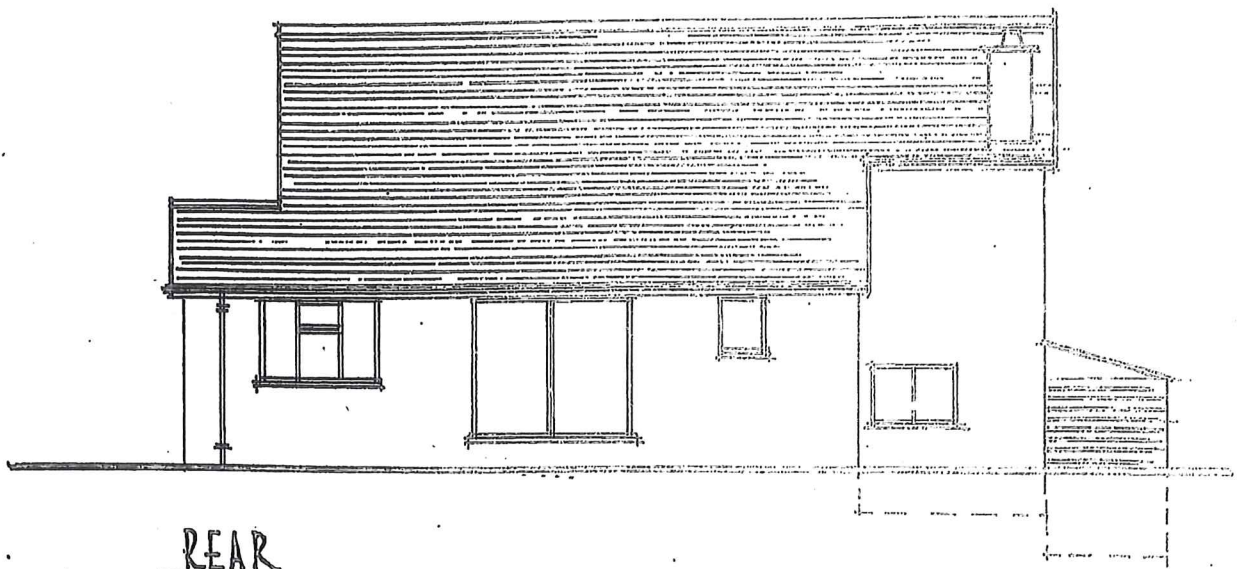
SCALE - 1 : 100

R. J. JACKMAN
WESTWARD LEDGE
ST. MARYS
ISLES OF ST. MARY
TRIST CWA

R. J. (2)



FRONT ELEVATION



REAR



COUNCIL OF THE ISLES OF SCILLY


Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455 (Voicemail only)

✉planning@scilly.gov.uk

Mr R Jackman
Westward Ledge
Church Road
St Marys
Isles Of Scilly
TR21 0NA

Email only 

18th November 2021

Dear Mr Jackman,

PLANNING REFERENCE
DEVELOPMENT
PROPOSED:
LOCATION:

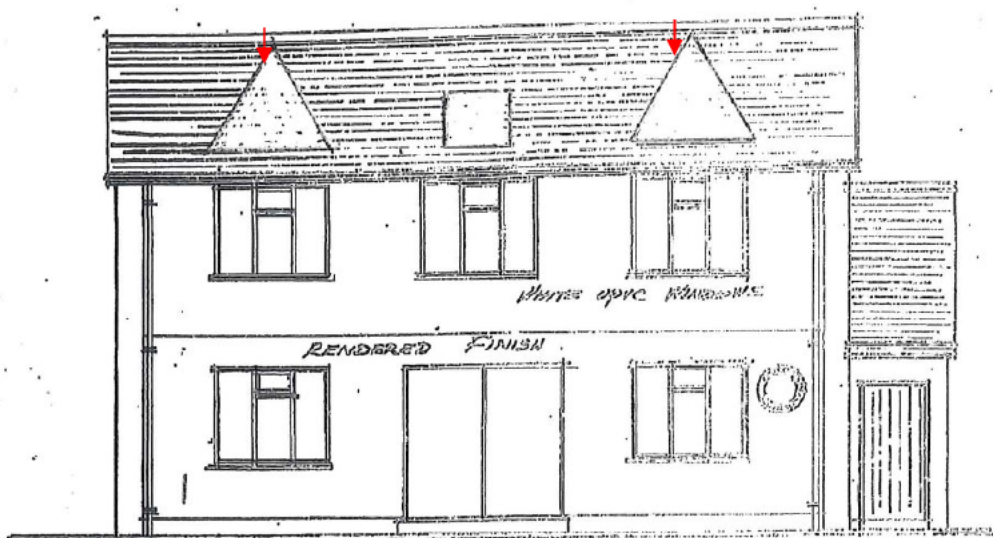
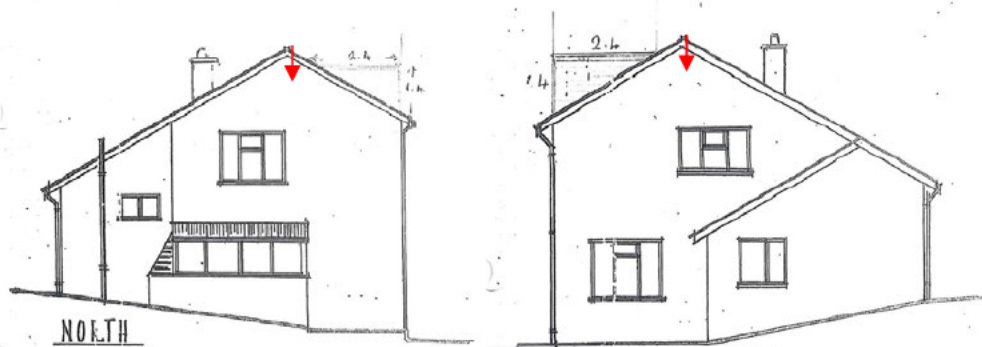
P/21/054/HH
Roof alteration for introduction of two dormers
plus velux roof light (amended plans)
Westward Ledge, Church Road, Hugh Town, St
Mary's, Isles of Scilly, TR21 0NA

Further to the submission of the corrected amended plans, and my apologies for the delay in getting back to you. I am writing to request that you indicate which option you would like to propose, as you indicated two in your response. Because of the nature of the plans that have been edited multiple times there appears to be a degree of inconsistency between what is shown on the front elevation and what you show from the side elevation. In order to ensure the plans are consistent between the side view and the front view, please can you mark on the distances between the ridge line of the dormer and the ridge line of the main roof. So with the final version, you need to be consistent with the position of the dormers relative to the ridge line and the eaves line of the main house.

Thank you for the correction, yes, they are not dormer windows but dormer structures within the roof. I note that you confirm that the space within the roof is not for habitable purposes and that you would expect there to be a condition to restrict such a use. There does seem to be a desire to create large dormer features and I would request that you look to amend the plans to the scale as originally indicated to you of my original letter. This was not intended to show construction of the roof to the edge of the roof slope, but to align with the front wall of the house.



As noted above there needs to be accuracy and consistency between all elevations. As with building control plans, these plans need to be accurate so we can be confident on what it is we are considering. There is a big different between how you show these structures on the front elevation and how they appear from each side. The plans show a different position for each elevation. We cannot condition construction in accordance with plans that are inconsistent with one another. Please can you lower the position of the ridge of the dormer, and ensure you note the distance from the ridge line.



Finally, information has been sent through to the Planning Department that suggests this property has been sub-divided in some way and that there is an independent and self-contained unit of accommodation. The subdivision of any property into multiple units of accommodation does require planning permission and any gain in such units has to be meeting a local need, secured by a Section 106 agreement. I would be grateful if you could let me know if there is any self-contained accommodation that you currently let out.

Yours sincerely

[REDACTED]
 [REDACTED]
 [REDACTED]
 [REDACTED]

Letter from Applicant withdrawing all amended plans

Ray Jackman

Westward Ledge, Church Road

St Mary's, Isles of Scilly

TR21 0NA

Lisa Walton, Senior Planning Officer

Council of the Isles of Scilly

Town Hall, St Mary's

TR21 0JD

21st November 2021

Dear Ms Walton

RE PLANNING REFERENCE P/21/054/HH WESTWARD LEDGE

Thank you for your letter dated 18th November inst. I am not prepared to alter the amended plans any further, and wish to withdraw the amended proposed elevations, and have the application determined on the original proposed elevations, showing the construction aligning with the front wall of the house, and to the height of the existing roof ridge.

In your email of 5th September 2021 you refer to the application adding considerable bulk to the roof. This criticism appears to be totally out of line with your recent approvals, namely "Chy Carn" (opposite), "2 Matthews Field" (next door), "4 Porth Cressa Road" and "Salt Whistle" at McFarland's Down – where the bulk of those roof developments exceed what is asked for at Westward Ledge. I enclose photos of "2 Matthews Field", the closest property, showing the increase in the bulk of the roof. Further, in your letter of 19th May 2021, your colleague, Andrew King, Planning and Development Manager, in his fourth paragraph, states:-

.....whilst the dwelling is located prominently, the introduction of rooflights and dormer windows of the style proposed could be considered to reflect the features on the neighbouring properties at Chy an Mor and at 2 Matthews Field and the proposed elevation does not look particularly out of keeping. I would emphasise the need to ensure materials are both sustainable and in keeping with the surrounding area and do not result in a poor quality appearance, subject to this the proposal could be considered acceptable.

The application was posted up on 16th July 2021, showing the proposed roof alterations. It appears to date there have been no objections. The drawings for the proposed dormers have been shown to numerous people, including neighbours, who all agree the proposal vastly improves the appearance of the property.

You appear to be obsessed that the alterations are for residential use, of which it is not. Indeed in your latest letter you say that:-

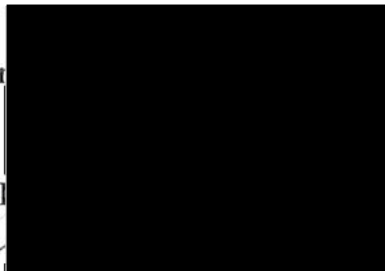
..... information has been sent through to the Planning Department that suggests this property has been sub-divided in some way and that there is an independent and self-contained unit of accommodation.

You have been wrongly advised, and I suggest you make an arrangement to carry out a site visit to establish the correct position.

This is not the first time you have been wrongly advised, or made wrongful assumptions yourself. You will recall in 2019 you alleged that a fourth unit of residential accommodation had been created in Maritime House. Your subsequent site visit proved the allegation incorrect,

Yours Sincerely

R T JACKSON









COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455 (Voicemail only)

✉planning@scilly.gov.uk

Q)12)c) – Copy of letter notifying interested parties of the appeal.

Parties sent to:

- Owners/Occupiers, 2 Matthews Field, Church Road, St Mary's, Isles of Scilly, TR21 0NA
- Owners/Occupiers, The Barn, Church Road, St Mary's, Isles of Scilly, TR21 0NA
- Owners/Occupiers, The Barn Annex, Church Road, St Mary's, Isles of Scilly, TR21 0NA
- Owners/Occupiers, Cadwallan, Church Road, St Mary's, Isles of Scilly, TR21 0NA
- Owners/Occupiers, Chy An Mor, Church Road, St Mary's, Isles of Scilly, TR21 0NA

TOWN AND COUNTRY PLANNING ACT 1990 APPEAL UNDER SECTION 78

Site Address:	Westward Ledge, Church Road, St. Mary's, Isles of Scilly, TR21 0NA
Description of development:	Roof alteration for introduction of two dormers plus velux roof light
Application reference:	P/21/054/HH
Appellant's name:	Mr Raymond Jackman
Appeal reference:	APP/Z0835/D/22/3290086
Appeal start date:	20th January 2022

I refer to the above details. An appeal has been made to the Secretary of State against the decision of The Council of the Isles of Scilly to refuse to grant planning permission.

The appeal will be determined on the basis of **written representations using the Householders Appeals Service (HAS)**. The procedure to be followed is set out in Part 2 of The Town and Country Planning (Appeals) (Written Representations Procedure) (England) Regulations 2009, as amended.

As this appeal is proceeding under the **Householder Appeals Service**, there is no opportunity for you to submit comments. However, we have forwarded all the representations made to us on the application to the Planning Inspectorate and the appellant. These will be considered by the Inspector when determining the appeal.

If you wish to withdraw any representations you made on the application, you must make this request to the Planning Inspectorate by 17th February 2022. You can do this by emailing west2@planninginspectorate.gov.uk

If you do not have access to the internet, you can write (quoting the appeal reference) to

Sarah Hardy
The Planning Inspectorate

3C Eagle Wing
Temple Quay House
2 The Square
Bristol
BS1 6PN.

The appeal documents are available for inspection online here:

<https://www.scilly.gov.uk/planning-application/planning-application-p21054hh>. If you are unable to access the appeal documents electronically, please contact us using the details at the top of this letter for assistance.

The Planning Inspectorate aims to deal with appeals following this procedure within 8 weeks of the appeal start date. When made, the decision will be published online at <https://www.gov.uk/appeal-planning-inspectorate> or you can obtain a copy from us.

You can get a copy of one of the Planning Inspectorate's "Guide to taking part in planning appeals" booklets free of charge from GOV.UK at <https://www.gov.uk/government/collections/taking-part-in-a-planning-listed-building-or-enforcement-appeal> or from us.

Yours sincerely

Lisa Walton MRTPI
Chief Planning Officer

Council of the Isles of Scilly

Delegated Planning Report

Householder application

Application Number: P/21/054/HH

Received on: 5 July 2021

UPRN: 000192001280

Application Expiry date: 10 September 2021

Neighbour expiry date: 10/08/2021

Site notice posted: 20 July 2021

Site notice expiry: 10 August 2021

Applicant: Mr R Jackman

Site Address: Westward Ledge
Church Road
Hugh Town
St Mary's
Isles of Scilly
TR21 0NA

Proposal: Roof alteration for introduction of two dormers plus velux roof light.

Application Type: Householder

Recommendation: REFUSE

Summary Reasons for Refusal:

- R1 The proposal would, as a result of large and prominent dormer structures, have an intrusive impact and harm the character and appearance of the surrounding area, which is designated as an AONB, Conservation Area and Heritage Coast in conflict with Policies OE1, OE7, LC8 and SS2 of the Isles of Scilly Local Plan (2015-2030) and paragraph 176 and 197(c) of the National Planning Policy Framework (2021).

Reason for Delegated Decision

No Councillor has requested that the application come to the Full Council. The decision defaults to the level of Delegated:

- Not a Councillor ✓
- Not a Senior Officer (or Officer with influence over planning Decisions) ✓
- No relation to a Councillor/Officer ✓
- Not Major ✓
- Not Council's own application ✓
- Not a departure from the Development Plan ✓
- Not Called in ✓

Lead Member Planning Agreed

Name: Cllr Dan Marcus

Date: 10 August 2021

Name: Cllr Dan Marcus

Date: 07/10/2021 (AMENDED PLANS)

Name: Cllr Dan Marcus

Date: 13/12/2021 (Reversion to original)

Site Description and Proposed Development

Westward Ledge is a detached two storey dwelling located on the south east side of Church Road, as it rises up leaving Hugh Town on the east side. The slope of the site means the dwelling is situated above the level of the road, with only a stepped pedestrian access from the front. An area of off-street parking was granted under a permission in 2010 (P/10/037/FUL). This however has not been implemented and the property does not have any off-street car parking.

The private garden is fairly open to the front, with a sloping terraced garden. The private rear garden is relatively small. The plans submitted identify that the roof space is currently used for storage and the plans, both existing and proposed, show this to have no habitable accommodation. The dormer structures have been proposed as a means to achieve greater amount of usable storage within the loft space. One rooflight is proposed, which will be located between the two front facing pitched dormers.

Certificate: A

Consultations and Publicity

The application has had a site notice on display for 21 days (20/07/2021 – 10/08/2021). The application appeared on the [weekly list on 19th July 2021](#). Due to the nature of the proposal no consultations are required.

Representations from Residents:

Neighbouring properties written to directly:

- Cadwallan, Church Road
- The Annex, Barn House, Church Road

- Barn House, church Road
- 2 Matthews Field, Church Road
- Chy-an-mor, Church Road

[0] letters of objection have been received

[0] letters of support have been received

[0] letters of representation have been received.

Relevant Planning History:

In 2006 two applications were submitted and refused for alterations to the roof pitch and installation of dormer windows. P/06/098 and P/06/126 were both refused. These were considered under the 2005 Local Plan. P/06/126 was the subject of an appeal, which upheld the Council's decision to refuse the proposal.

Constraints:

Conservation Area, AONB, Heritage Coast

Historic Landscape Character Landscape Type: Settlements.

Listed Building: No

Scheduled Monument: No

Archaeological Constrain Area: No

Planning Assessment

Design	YES OR NO
Would the proposal maintain the character and qualities of the area in which it is proposed?	n
Would the proposal appear in-keeping with the appearance of the existing dwelling, street and area?	n
Would the materials, details and features match the existing dwelling and be consistent with the general use of materials in the area?	n
Would the proposal leave adequate garden area and green space to prevent the proposal appearing as an overdevelopment of the site and to ensure an adequate level of amenity?	y
Is the parking and turning provision on site acceptable?	y
Would the proposal generally appear to be secondary or subservient to the main building?	n
Is the scale proposed in accordance with NDSS	n ¹

¹ The applicant would gain additional storage space within the roof space, but indicates this would not be habitable so has not provided any calculations (as required by the local validation checklist) as to changes in floorspace.

Amenity	YES OR NO
Is the proposal acceptable with regard to any significant overlooking/loss of privacy issues?	y
Has the proposal been designed to respect the amenities of neighbouring properties avoiding unreasonable loss of light or an overbearing impact?	y
Is the proposal acceptable with regard to any significant change or intensification of use?	y

Heritage	YES OR NO
Would the proposal preserve or enhance the character and appearance of the Conservation Area?	n
If within the setting of, or a listed building, a) Will the development preserve the character and special architectural or historic interest of the building? b) Will the development preserve the setting of the building?	n/a
Within an Archaeological Constraint Area	n
Other Impacts Does the proposal comply with Highways standing advice such that it does not adversely affect highway safety?	n/a
Impact on protected trees Will this be acceptable Can impact be properly mitigated?	n/a
Has the proposal been designed to prevent the loss of any significant wildlife habitats or proposes appropriate mitigation where this has been demonstrated to be unavoidable?	n/a
Does the proposal conserve and enhance the landscape and scenic beauty of the AONB	n
Are the Water connection/foul or surface water drainage details acceptable?	n/a
If sited within a Critical Flood Risk Area (low lying land below the 5m datum) is the application accompanied by an acceptable Flood Risk Assessment?	n/a
Are there external lights	n

Protected Species	YES OR NO
Does the proposal include any re-roofing works or other alteration to	y

the roof	
Does the proposal include any demolition	n
Does the proposal include tree or hedge removal	n
Is an assessment of impact on protected species required	Y
Has an assessment been provided that adequately assesses the site and includes mitigation, enhancement and timing requirements	y
Are biodiversity enhancement measures required	y
Is a condition required to provide biodiversity enhancement measures	y

Waste Management	YES OR NO
Does the proposal generate construction waste	y
Does the proposal materially increase the use of the site to require additional long-term waste management facilities	n
Does the proposal include a Site Waste Management Plan	y
Is a condition required to secure a Site Waste Management Plan	n

Sustainable Design	YES OR NO
Does the proposal materially increase the use of the site to require additional sustainable design measures	y
Does the proposal include any site specific sustainable design measures	n
Is a condition required to secure a Sustainable Design Measures	y

This application proposes to install two large blank pitched-roof dormer structures to the front elevation of this property in addition to a centrally positioned rooflight. No other alterations to roof height or pitch are proposed. The current roof slope is around 30 degrees and, based on the submitted plans, the roof space would have a head height of less than 1.5m so would not be currently adequate to create sufficient head space to use it as habitable accommodation.

The proposal would add approximately 66 square metres of floorspace and a third floor to the existing 5 bedroom house. Currently the property has two floors of habitable accommodation. It would appear therefore that the existing property already exceeds the minimum space standards, and the 30% maximum as required by Policy LC8 (1):

b) Where a proposal results in an increase in size (either in relation to number of bedrooms, floors, usable floor space or footprint) of the original dwelling then this should meet, and be no greater than 30% above as a maximum, the minimum space standards as set out in the Nationally Described Space Standards (Technical Housing Standards) (or any

replacement standards); unless clear justification is provided as to why a larger home is required.

The applicant has stated the roof space will remain as storage for the property. The applicant has stated that the use of the roof space will not be to create any habitable accommodation and that the dormers and roof light are to provide a bit more space as well as light.

The applicant states that the insertion of windowless dormer structures is to primarily create a visual improvement to the principal elevation only. On this basis it is considered necessary and to ensure compliance with Policy LC8 to restrict the use of the roof space as ancillary storage only and not for habitable purposes, in order to ensure compliance with LC8(1)b).

In clarifying the rationale for the scale of the proposal, the applicant has referenced dormer windows being permitted on other property, in the period since his initial 2006 application was refused (figure 2 below).



Figure 1 As Existing



Reason 1

The proposal would, as a result of the increased height of the building and the number and positioning of the dormer windows, have an intrusive impact and harm the character and appearance of the surrounding area which is designated as an AONB, Conservation Area and Heritage Coast in conflict with Planning Policy Statement 1, Planning Policy Statement 7, Planning Policy Statement 15 and Policies 1 and 2 of the Local Plan.

Figure 2 As refused in 2006 (and appeal lost) including Reason for Refusal.



Figure 3 As now proposed 2021

The proposed elevations, of which are shown in figure 3 above, are considered to be overly bulky in appearance. The house is a large two storey property situated in an elevated hillside position on Church Road. The blank dormer features are not considered to be particularly characteristic in terms of design. Some examples of nearby property have been considered:

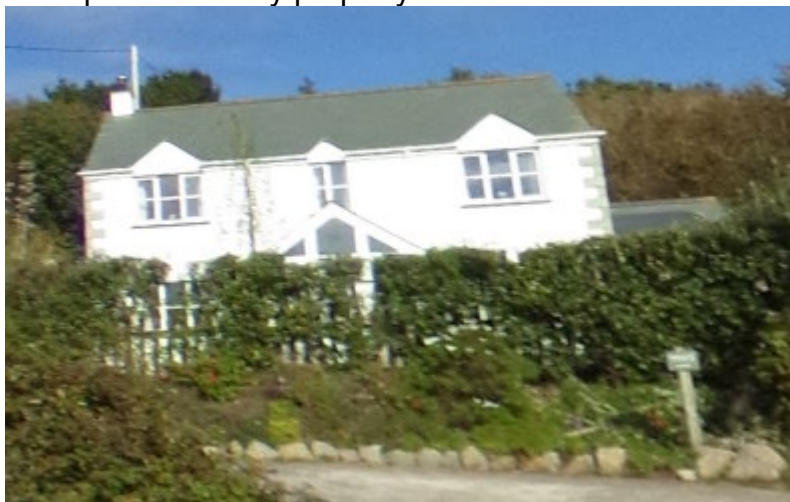


Figure 4 small dormers on a relatively modern two storey house to the north east



Figure 5 Dormer added to a mid-century bungalow on Church Road to the north west



Figure 6 dormers on modern bungalows on Chruch Road, to the East side

Whilst the applicant references a large extension to the rear of a neighbouring property (next door but 1 to the south east), this is rear facing, connected to a bungalow that is semi-detached and set further back from the road. It is not considered that this is directly comparable to the proposed blank dormer structures on the application property, which are on the front elevation.

The applicant has variously sent through a series of amended dormer designs for consideration. All amended plans, referenced below, have however been withdrawn at the request of the applicant. This assessment therefore whilst references the sequence of amendments, is based on the original submission, as shown in Figure 3 above.

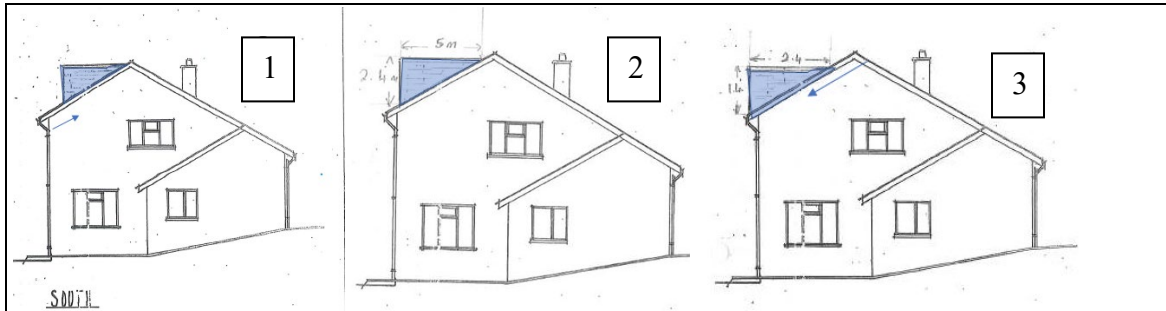


Figure 7 1st, 2nd and 3rd Amendments

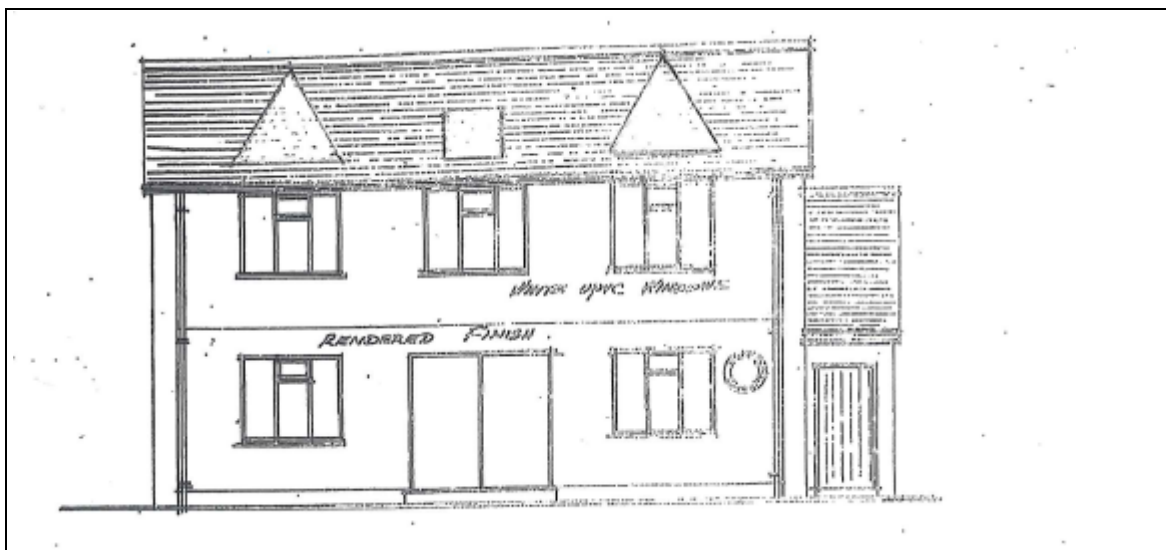


Figure 8 The front (north) elevation with the various amendments (fig 7) has remained unchanged.

The first set of amended plans (1) were submitted after the applicant was asked to consider reducing the overall scale of the dormers to something less bulky. These plans were the subject of a conversation with the building inspector, particularly in terms of implications under the building regulations, as it was apparent that the head-height would be inadequate but if the applicant was successful at the planning stage and 'boarded out' the space or fixed a permanent means of access, it would be considered 'habitable' for the purposes of the building regulations. Clarification on the plans was therefore sort, in terms of adding dimensions to the drawings and requesting sections (existing and proposed). This resulted in the second set of amended plans (2). These indicated wildly inaccurate dimensions, which the applicant was asked to clarify. This resulted in the third and final set of amended plans, shown as (3) in figure 7 above (side elevation) and figure 8 (front elevation) being submitted as an amendment to the application. It is noted that with all three versions of the amended plans the size and position of the dormer were inconsistent (the side elevations all differed from the front elevation in terms of position and size). On the basis that the amended plans were inconsistent in terms of the side elevations and front elevations, and the dormers were stated to achieve

aesthetic improvements primarily, the applicant was again asked to scale down the dormers further and ensure the drawings were consistent. This resulted in a withdrawal of the amended plans and a reversion of the scheme back to the originally submitted dormers, as shown in figure 3 above.

The site is within the Isles of Scilly Conservation Area, so whilst this part of Hugh Town does not contain historic or listed buildings, all of the land has been identified as an integral part of the islands' historic development. The islands are also an Area of Outstanding Natural Beauty and heritage coast. Local Planning Authorities are required to pay special attention to the desirability of preserving or enhancing the character and appearance of that area. Whilst it does not necessarily follow that planning permission should be refused, if regard has been taken into account of the special character of the conservation area, it is necessary to consider whether development does indeed preserve or enhance the area. In relation to the historic environment, paragraph 197 c) of the National Planning Policy Framework (NPPF) requires local planning authorities to take account of:... the desirability of new development making a positive contribution to local character and distinctiveness. Notwithstanding the conservation area considerations, paragraph 176 of the NPPF, advises that great weight should be given to conserving and enhancing landscape and scenic beauty in...Areas of Outstanding Natural Beauty which have the highest status of protection in relation to these issues.

In this case the dwelling is a prominent two storey property, with a particularly visible presence in the street scene. The proposed dormer structures are not required or being proposed as a means to bring the scale of the property up to minimum space standards and they are not proposed as a means to improve the sustainability of the property. A case is being made to aesthetically improve the appearance of the property. Whilst dormer windows and dormer structures are relatively common and enable smaller properties to gain extra accommodation within the roof space, they generally function as windows (as in examples in figures 5 and 6) or, where they don't, they are small and add interest to the roofline (as in the example in figure 4). The dormers proposed would appear, in this case, to be unnecessarily large and bulky and result in a visually prominent increase to the roof of this property.

Policy LC8 of the adopted Local Plan, relates to residential extensions and requires proposed alterations or enlargements of existing homes to consider size, siting and design, as well as the use of materials, to ensure proposals would not be more visually intrusive in the landscape. Policy SS2 relates to sustainable quality design and place-making and part (1) states that development will not be permitted if it is considered to be of poor or unsustainable design. New development must be of a high-quality design and contribute to the islands' distinctiveness and social, economic and environmental elements of sustainability by: a) respecting and reinforcing the character, identity and local

distinctiveness of an area whilst not stifling innovation, and with the scale, density, layout, height, mass and materials responding positively to the existing townscape, landscape and seascape setting. Policy OE1 (1) only permits development where it aligns with the statutory purpose of Areas of Outstanding Natural Beauty, and therefore conserves and enhances the islands' landscape, seascape and scenic beauty, taking into account and respecting the distinctive character, quality, scenic beauty and sensitivity of the landscape and seascape.

Overall it is considered that the proposed dormer structures are bulky in design and will appear prominent in the street scene. Although put forward as a means to enhance the appearance of the dwelling, it is not considered that dormer structures of this scale are characteristic to the area nor would they particularly enhance the appearance of the dwelling. There is no justification put forward that could override the visual harm identified. It is considered that the proposal neither preserves nor enhances the character of the conservation area and the proposal is not considered to conserve or enhance the scenic beauty of the AONB.

Conclusion: It is considered that the proposed extension by virtue of its scale and design is contrary to policies of the local plan and the requirements of the NPPF.

EIA: Due to the scale, nature and location this development will not have significant effects on the environment and therefore is not considered to be EIA development.

Proactive working: In accordance with guidance within the National Planning Policy Framework the Council has worked in a positive and creative way and has concluded that the application is acceptable for planning permission to be granted. This application has been considered in accordance with Section 38 of the Planning & Compulsory Purchase Act 2004.

Planning Policy: Section 70 of the 1990 Town and Country Planning Act requires that regard be had to the development plan, any local finance and any other material considerations. Section 38(6) of the 2004 Planning and Compensation Act requires that applications are to be determined in accordance with the development plan unless material considerations indicate otherwise. For the purposes of decision making, as of March 2021, the development plan for the Isles of Scilly comprises the Isles of Scilly Local Plan 2015-2030.

The relevant development plan policies that have been taken into consideration are set out below:

Isles of Scilly Local Plan, 2015-2030

Policy	Tick if Used ✓
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Policy SS1 Principles of Sustainable Development	✓
Policy SS2 Sustainable quality design and place-making	✓
Policy SS3 Re-use of Buildings	
Policy SS4 Protection of retailing, recreation and community facilities	
Policy SS5 Physical Infrastructure	
Policy SS6 Water and Wastewater Management	
Policy SS7 Flood Avoidance and Coastal Erosion	
Policy SS8 Renewable Energy Developments	
Policy SS9 Travel and Transport	
Policy SS10 Managing Movement	
Policy OE1 Protecting and Enhancing the landscape and seascape	✓
Policy OE2 Biodiversity and Geodiversity	
Policy OE3 Managing Pollution	
<i>Policy OE4 Protecting Scilly's Dark Night Skies</i>	
Policy OE5 Managing Waste	
Policy OE6 Minerals	
Policy OE7 Development affecting heritage	✓
Policy LC1 Isles of Scilly Housing Strategy to 2030	
Policy LC2 Qualifying for Affordable Housing	
Policy LC3 Balanced Housing Stock	
Policy LC4 Staff Accommodation	
Policy LC5 Removal of Occupancy Conditions	
Policy LC6 Housing Allocations	
Policy LC7 Windfall Housing:	
Policy LC8 Replacement Dwellings and Residential Extensions	✓
Policy LC9 Homes in Multiple Occupation	
Policy WC1 General Employment Policy	
Policy WC2 Home based businesses	
Policy WC3 New Employment Development	
Policy WC4 Alternative Uses for Business/Industrial land and buildings	
Policy WC5 Safeguarding Serviced Accommodation	

Info Requirements	Submitted (LVC)	Not Submitted	Condition Required
Site Waste Management Plan	Yes		N
Sustainable Design Measures			Y
Biodiversity Enhancement Measures:			Y


Other material considerations include the policies of the National Planning Policy Framework (NPPF) and guidance in Planning Practice Guidance (PPG).

Considerations under Human Rights Act 1998 and Equalities Act 2010

The provisions of the Human Rights Act 1998 and Equalities Act 2010 have been taken into account in reaching the recommendation contained in this report.

Recommended Reasons for Refusal:

- R1 The proposal would, as a result of large and prominent dormer structures, have an intrusive impact and harm the character and appearance of the surrounding area, which is designated as an AONB, Conservation Area and Heritage Coast in conflict with Policies OE1, OE7, LC8 and SS2 of the Isles of Scilly Local Plan (2015-2030) and paragraph 176 and 197(c) of the National Planning Policy Framework (2021).

Print Name:	Lisa Walton	13/12/2021
Job Title:	Chief Planning Officer	
Signed:		
	<i>Authorised Officer with Delegated Authority to determine Planning Applications</i>	



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Publication Details

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Published | *27th March 2021*

Full Council Approval | *25th March 2021*

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the accommodation is retained to meet local housing needs of the islands, in accordance with Policy LC2.

POLICY LC7 Windfall Housing

(1) Proposals for new homes, including custom and self-build, will be permitted:

- a) On St Mary's where the site is within or adjoining an existing settlement as shown on the Policies Map; or
- b) On the off-islands where new homes are required to meet a Local Housing Need specific to that off-island.

(2) All new homes will be required to meet Local Housing Needs in accordance with Policies LC1, LC2 and LC3.

Existing Homes

299. **Replacement Dwellings** Renovating existing homes is often a more sustainable and environmentally friendly approach than replacing existing dwellings in their entirety. Where the existing dwelling is not considered suitable for retention, the replacement home should be well sited in relation to the existing site and buildings, not visually intrusive, and not significantly larger than the dwelling it replaces. Where a replacement home is considered appropriate, it must have a lawful planning use as a dwelling, and not have been demolished prior to the determination of the associated planning application, and/or its use abandoned. Replacement dwellings should be sited within the lawful curtilage of the existing dwelling, unless significant environmental benefits would result from its repositioning.
300. The impact of a replacement dwelling is likely to be greater with increases in size, especially in relation to the surrounding area. Any increase in the size and scale of a replacement dwelling can also have implications in relation to its affordability. Any planning application for a replacement dwelling can take into account the size of extension that could be sought. In order to apply a consistent approach, the increase in scale of a replacement dwelling will be restricted, to ensure it is no larger than a previously enlarged property.
301. Where a replacement dwelling is proposed, it must be demonstrated that the overall energy performance of the building will be improved where it is viable to do so, in accordance with Policy SS1 and Policy SS2.
302. **Residential Extensions** Due to the exceptional quality of the environment, many of the usual permitted development rights for householders on the islands are removed through Article 4(2) Directions. As a result, there is a higher proportion of planning applications submitted for extensions and alterations to existing properties. It is therefore necessary to guide homeowners as to what would be considered acceptable in the context of the islands.

303. Additional space created by an extension to a dwelling, or the erection or alteration of outbuildings or other structures to provide ancillary accommodation, can be an acceptable means of addressing changes in household space requirements. In supporting extensions and alterations, it is important to strike an appropriate balance to ensure the protection of amenity of neighbouring residents and the character of the locality.
304. As all homes on the islands command higher than the national average house price, larger homes are therefore less likely to be affordable to the community, who have on average, lower incomes when compared to the national average. Consequently, proposals for extensions should not result in an imbalance in the existing housing stock, and ensure the retention of an appropriate mix of homes available to the community.
305. To prevent an imbalance of house types and sizes, and to help retain affordable homes, proposals that seek to extend an existing property significantly, by more than 30% above the minimum for the size of property, will be resisted unless there is a demonstrable proven need for a larger home.
306. For ancillary accommodation, which is accommodation required for immediate members or relatives of the existing household (and not for use as lettable holiday accommodation), standards of privacy and amenity may be relaxed in relation to the main dwelling. In such circumstances, the occupation of the accommodation will be tied by condition to the occupation of the main dwelling. The scale and design of an extension should be in accordance with the Isles of Scilly Design Guide Supplementary Planning Document.
307. Where an extension or major refurbishment is proposed, it must be demonstrated that the overall energy performance of the building will be improved, where it is viable to do so, in accordance with Policy SS1 and Policy SS2.
308. Alterations and modifications to existing buildings and dwellings, including proposed extensions, outbuildings and annexes, must be of an appropriate scale and subservient in relation to the existing building, taking into account the site location and the cumulative impacts of previous extensions and development on the site where appropriate.

POLICY LC8 Replacement Dwellings and Residential Extensions, Alterations and Ancillary Accommodation

(1) The alternation, enlargement, replacement or substantial rebuilding of a lawful dwelling will be supported subject to compliance with the following requirements:

- a) The size, siting and design, as well as the use of materials, of the proposal would not be more visually intrusive in the landscape or have a harmful impact upon the amenity of neighbouring properties.**
- b) Where a proposal results in an increase in size (either in relation to number of bedrooms, floors, usable floor space or footprint) of the original dwelling then this should meet, and be no greater than 30% above as a maximum,**

the minimum space standards as set out in the Nationally Described Space Standards (Technical Housing Standards) (or any replacement standards); unless clear justification is provided as to why a larger home is required.

(2) A replacement dwelling or an extension or alteration to an existing dwelling will not be permitted to include any self-contained holiday letting accommodation unless this already lawfully forms part of the existing property, secured through planning permission or a lawful development certificate.

(3) All planning applications for replacement dwellings, extensions or alterations that increase the number of bedrooms relative to the existing dwelling should:

- a) proportionately improve the overall energy performance of the building and accord with the principles set out in Policies SS1 Principles of Sustainable Development and SS2 Sustainable Quality and Design; and
- b) ensure there is sufficient space within the existing curtilage to accommodate the proposal without resulting in overdevelopment of the site or adversely impacting on residential amenity space and parking provision; and
- c) be supported by calculations of the existing and proposed internal habitable floor space and the number of proposed permanent occupants.

309. **Homes in Multiple Occupation (HMO)** A HMO is a property that is shared by three or more tenants who are not living together as a family, and who share basic amenities such as a kitchen, bathroom or toilet facilities, but have separate bedrooms. The change of a home to a HMO for up to 3–6 people is permitted development. Where there is a mixed HMO and private dwelling, or the HMO is shared by more than six people, then planning permission is required.
310. Unlike the UK mainland, the Isles of Scilly does not have high numbers or concentrations of HMOs, which are often established as a means of providing low-cost accommodation for students or young professionals. Locally, HMOs are established largely to provide accommodation for seasonal staff.
311. In order to accommodate the need and demand for HMOs, while ensuring the future balance of established communities, Policy LC10 provides guidance for developers and prospective landlords in order to minimise the potential social, environmental and economic impacts of HMOs on communities.

POLICY LC9 Homes in Multiple Occupation

(1) In order to support mixed and balanced communities and to ensure that a range of household needs continue to be accommodated throughout the islands, a material change to a House in Multiple Occupation (HMO) will be permitted where:

- a) the use would not cause a detrimental impact upon adjacent and neighbouring residential amenity or neighbouring land uses; or
- b) the immediate area is not already imbalanced by a concentration of such uses and where the development would not create such an imbalance.



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Our Outstanding Environment

Issues: Environment Economy	
Aims	<div>1. Maintaining an outstanding and world-class environment, and ensuring that its distinctive and significant seascape and landscape, heritage and nature conservation assets are protected, valued and enhanced.</div> <div>5. Engendering and supporting a strong, vibrant and healthy island community with an improved quality of life for its residents.</div> <div>6. Adapting to the effects of climate change on people, wildlife and places by increasing resilience, matching the vulnerability of land uses to flood risk, and managing surface water in the most sustainable way.</div> <div>7. Minimising carbon dioxide and other greenhouse gases, and supporting measures that contribute to carbon neutrality and mitigate against the effects of climate change.</div>

173. The Isles of Scilly has an outstanding world-class environment that underpins the quality of life and the economy of the islands. Consequently, the policies in the Local Plan aim to safeguard the rich environment and heritage of the islands, so as to maintain its world-class quality and distinctiveness, whilst carefully managing and promoting sustainable development, to support a strong and viable community and economy.

Protecting and Enhancing the Natural Environment

174. The distinctiveness and richness of the islands’ environment is reflected in the plethora of national and international designations. The entire islands are designated as an Area of Outstanding Natural Beauty (AONB) and Heritage Coast, reflecting the quality of the landscape and seascape. The richness and quality of the islands’ biodiversity and geodiversity is reflected in the protection afforded to 26 Sites of Special Scientific Interest (SSSI) spread over 25 sites, and the internationally recognised Special Protection Area (SPA), Ramsar Wetland and Special Area of

Conservation (SAC). The quality of the historic environment is recognised, as the entire islands are designated a Conservation Area, and Scilly has the densest concentration of archaeology in the UK, with 238 Scheduled Monuments.

175. **Landscape and Seascape** The character of the islands' landscape and seascape is one of outstanding quality and beauty. The outstanding environment and the diversity and distinctiveness of the islands are important both to the quality of life of its communities and the economic prosperity of the Isles of Scilly as a whole. Consistent with the primary purpose of conserving the natural beauty of the AONB, as established through the Countryside and Rights of Way Act, when considering proposals for development great weight will be afforded to the islands' landscape, seascape and scenic beauty and the aims and objectives of the AONB Management Plan. Proposals that contribute towards meeting the economic or social needs of the islands will be supported where they are situated on appropriate sites and of a scale and design that conserves and enhances the natural beauty in accordance with Policy OE1.
176. The characteristics of the islands' landscape are assessed in detail in 'The Isles of Scilly Landscape Character' (2008), which identified 5 landscape character areas for the Isles of Scilly. Landscape also has a time dimension and the 'Historic Landscape Characterisation Study' (2007) has looked at a range of issues that are impacting on the islands' landscape, some of which are the result of pressures for new development. Other pressures include changes in land management, such as declining fieldscapes due to abandoned bulb fields, and the removal or deterioration of stone hedges and shelter fences. Similarly, the AONB Management Plan identifies a range of issues that are forcing change to the important landscape and biodiversity of the islands. As well as changes in land management practices, these range from climate change, the introduction and spread of invasive species, to pressure from fisheries and wider recreational and commercial pressures to develop the islands by exploiting their natural beauty.
177. **Heritage Coast** The Isles of Scilly was defined as a Heritage Coastal area in 1974, and covers 64 km of coastline around the islands. The NPPF requires planning policies and decisions in relation to Heritage Coastlines to be consistent with the special character of the area and the importance of its conservation. Major development on the islands is unlikely to be appropriate unless it is compatible with its special character. On the Isles of Scilly there is, in particular, the potential for maritime development to impact upon the purposes of the Heritage Coast.
178. To protect the distinctiveness and wild landscape and seascape nature of the islands' archipelago, development on the uninhabited islands will not be permitted. Development in such locations could irrevocably compromise the environmental qualities of these islands. Given the Local Plan's focus on ensuring the viability of communities on the inhabited islands, there are no circumstances in which development could be justified on any uninhabited island, without clearly demonstrating it will have no adverse effects on protected sites and provides overriding benefits for the community as a whole.

POLICY OE1 Protecting and Enhancing the Landscape and Seascape

(1) Development will only be permitted where it aligns with the statutory purpose of Areas of Outstanding Natural Beauty (AONB), and therefore conserves and enhances the islands' landscape, seascape and scenic beauty.

Development must take into account and respect:

- a) the distinctive character, quality, scenic beauty and sensitivity of the landscape and seascape;
- b) the undeveloped and special character of the Heritage Coast;
- c) other qualities, such as important features and views, dark skies and tranquillity, and having regard to the AONB Management Plan; and
- d) the Isles of Scilly Landscape Character Study and any successor or associated documents.

(2) Development will not be supported on the uninhabited islands.

179. **Biodiversity and Geodiversity** All biodiversity and geodiversity is important and represents the variety of life, providing us with essential resources. Biodiversity and geodiversity also make valuable contributions to people's well-being and play a key role in climate-change mitigation. The Local Plan aims to prevent harm to these assets and to achieve a net gain for biodiversity and geodiversity wherever possible. A Biodiversity and Geodiversity Supplementary Planning Document (SPD) (2007) provides more information on these matters. This SPD will be updated to reflect the requirements of this Local Plan.
180. Scilly is fortunate that it supports a wealth of biodiversity, including internationally and nationally important habitats, plants and animals. In particular, the islands host a number of rare and declining species, including 13 species of seabird such as the lesser black-backed gull, European shag, puffin, Manx shearwater and storm petrel.
181. Geodiversity is connected and integral to biodiversity and the foundation of our natural environment. Geodiversity is seen in the islands' land-forms; it includes the variety of rocks, minerals and soils that support biodiversity and ecosystems, as well as providing essential resources to sustain life, such as drinking water, a limited amount of recycled materials for construction, and the soils for growing crops.
182. Biodiversity net gains will be required in addition to any mitigation and compensation measures across the islands to enhance the environment in line with the objectives of the DEFRA's 25 year plan: A Green Future (2018)¹, A Natural Choice for Securing the Value of Nature (2011)² and the NPPF.³ Net gains will be measured against the metrics published by DEFRA. As part of this commitment to net-gains, regard will be given to the implications of a changing climate, to ensure that habitats are protected and enhanced to support their resilience to such changes.

¹ CE31 [A Green Future: Our 25 Year Plan to improve the Environment](#)

² CE32 [The Natural Choice: Securing the Value of Nature](#)

³ CE01 [National Planning Policy Framework 2019](#) Paragraph 170



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delivery of affordable homes is not anticipated to require traditional construction methods on the basis of the current lack of supply of materials on-island and the cost of importing sufficient supplies. To overcome some of the barriers to cost-effectively deliver affordable homes, it is expected that off-site construction methods and other modern means of construction will be used, rather than using a more traditional and mineral-heavy, construction methods.

224. One of the objectives of the Local Plan is to ensure that the built tradition, character, distinctiveness and historic environment of the islands is conserved and enhanced, so that the cultural heritage of Scilly is protected. As part of this process, encouragement will be given to use locally sourced and sustainable materials, with an emphasis on the re-use of recycled and secondary materials, as advocated by Policies OE5 and OE6 and the requirements for SWMPs. This position represents an appropriate and proportionate approach in the context of the NPPF, which advocates a steady and adequate supply of aggregates. Given the scale of development anticipated over the plan period and the island's exceptional environmental quality, it would be inappropriate to advocate mineral extraction.
225. Of particular relevance to the sustainable approach, adopted through Policies OE5 and OE6, is that SWMPs will be required as part of the Local Validation Checklist. This requirement is in order to provide details of how any excess and usable local materials are to be re-distributed in the case of demolition or excavation works, or sourced in the case of new building projects. It is anticipated that annual monitoring of the Local Plan will create a picture of sources of building materials for development on the islands.

POLICY OE6 Minerals

Support will be given to the use of construction materials and minerals already on the islands, through the use of recycled and secondary materials to minimise the requirement for any direct extraction. Site Waste Management Plans (SWMPs) will be required to support development proposals, and will include measures to recycle and recover inert construction, demolition and excavation materials for re-use in building works, thereby also reducing transportation costs and carbon emissions.

Protecting and Enhancing the Historic Environment

226. National planning guidance advises that Local Planning Authorities should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. The Isles of Scilly is fortunate to have a wealth of heritage assets that represent a distinctive, unique and irreplaceable resource that make it an exceptional historic place.

227. Many of the heritage assets on the islands are statutorily protected by being, for example, designated Scheduled Monuments or Listed Buildings. Additionally, the Historic Environment Record (HER) contains a large number of known non-designated assets that also contribute to the local distinctiveness and heritage of the islands. All of these heritage assets are an irreplaceable resource that should be conserved in a manner appropriate to their significance. As such, a positive and proactive strategy should be established for the conservation, enjoyment, and where possible, the enhancement of the historic environment, including those assets considered most at risk of neglect, decay and other threats.
228. The Isles of Scilly offer a unique combination of heritage components. The maritime and marine heritage includes a large number of harbours and quays, the remains of a shipbuilding industry, lighthouses, daymarks and lifeboat stations. The islands also have a wealth of intertidal and underwater archaeological sites, including prehistoric remains of over 700 wreck sites, five of which are designated under the Protection of Wrecks Act 1973. The surrounding sea also conceals the submerged landscape of ancient settlements, within the wide expanses of shallow subtidal and intertidal environments that have been flooded by rising sea-levels over the centuries. It has long been thought that the islands in their current form are a result of past marine transgressions that flooded early archaeological sites, making the archipelago a valuable laboratory for studying progressive sea-level rises within an historical context. These submerged and intertidal remains have led to the identification of the Isles of Scilly as the 'lost land of Lyonesse' – a legendary, low-lying country that once extended westwards from Land's End to Scilly, as encapsulated in Arthurian legend.
229. On land, the known heritage stretches back to truly ancient remains, including the high number of Bronze Age ritual burial monuments with impressive entrance graves, the Iron Age and Romano-British cist burials, the Romano-Celtic site on Nornour, as well as early Christian foundation chapels and hermitages. In addition to the immense ancient archaeology, the later medieval period also remains visibly apparent on the islands. The ruins of Ennor Castle on St Mary's are a reminder that Old Town was the seat of secular rule during the medieval period, whilst the old church of St Mary dates to Norman times. On Treco there are the remains of St Nicholas Priory, where the monks of Tavistock Abbey presided over the northern islands, and which now form the core of the world-famous Treco Abbey Garden, a Grade 1 Historic Park and Garden.
230. Over the last 400 years, a large and complex series of castles, forts, blockhouses, breastworks, walls and other military installations developed, emphasising the strategic importance and position of the islands. As such, the islands boast an unrivalled sequence of fortifications; medieval and Tudor defences; Civil War installations when the islands were the last Royalist stronghold; early 18th-century massive defence works on the Garrison, commissioned and supplemented during the Napoleonic Wars; gun batteries and other innovative defence works from the turn

of the 19th century; World War I flying boat stations; and World War II pillboxes and airfield installations.

231. An intrinsic component of the character of the historic landscape is the pattern of settlement, fields and lanes with field boundaries. Together, these reflect the evolution of the islands over 6,000 years of human impact on the land form, starting when the first settlers ventured across the sea from West Cornwall. The lack of development on the islands has enabled whole landscapes to survive in a relatively unaltered state.
232. As well as having landscape value, field boundaries are of archaeological and historic importance, illustrating how the landscape has changed and developed. The islands' walling techniques are distinct from those of the mainland, and in some respects differ from island to island, although there are broad similarities in the suite of boundary types. With the progressive loss of traditional dry-stone walling skills, some field boundaries are losing their original character.
233. In the latter part of the 19th century, the introduction of intensive flower farming produced narrow bulb strips bounded by Cornish hedges, and more particularly, high 'fences' of hardy species, to protect the tender flowers. These bulb strips, which often subdivided earlier fields, are now one of the most distinctive features of the Scillonian landscape.
234. The vernacular architecture of the islands is typified by low granite cottages, once roofed with rope thatch; this was later replaced with 'scantle' slated roofs, with small Delabole 'peggies' bedded in lime mortar and laid in diminishing courses. The traditional vernacular also includes box sash windows and sturdy plank doors. Wreck wood was used extensively in buildings throughout the islands.
235. Some 16th and 17th-century domestic buildings survive, such as Pier House, together with a few elegant 18th-century and early 19th-century properties, including Hugh House (built as the officers' mess), Veronica Lodge, Newman House, Lyonesse and Lemon Hall on St Mary's, and Dolphin House on Treco.
236. In the 19th and early 20th century, the influence of the Dorrien-Smith family and the Duchy of Cornwall is evident in the development of a certain 'house-style' of robust and rather severe public buildings. On St Mary's, these include the parish church, Town Hall and Hugh Town post office. On Treco, the Abbey, built by Augustus Smith and situated close to the ruins of the Benedictine priory, is now surrounded by the famous Abbey Garden.
237. Further significant structures of this period are the first glasshouses that were used to produce early flowers in the initial years of the flower industry. Few of these huge timber-framed buildings survive, but those that remain make an important contribution to the economic and architectural heritage of the islands. Often they are attached to older granite buildings roofed with scantle slate or Bridgwater clay tiles

brought over as ships' ballast. These once served as animal shelters or hay barns, but were given new life as packing sheds for flowers. A survey of the farm buildings on Scilly has shown that many have become disused and fallen into disrepair, as they no longer fulfil the needs of present-day farming.

238. **General approach to protecting and enhancing the historic environment of Scilly.** Heritage assets are irreplaceable and should be retained wherever possible. One of the important aims of the Local Plan is to conserve and enhance the historic environment for the benefit of future generations, and this needs to be achieved through a clear heritage strategy based on the following principles:

Principles
Ensure that the historic environment continues to contribute to the special character, identity and quality of life of the Isles of Scilly.
Ensure the conservation and enhancement of the historic environment of the islands for future generations, including both designated and undesignated heritage assets, their settings and the wider historic landscape.
Ensure that the interplay of the historic and natural environment, which is key to the special character of the islands, is fully understood and considered.
Increase public understanding, awareness and enjoyment of and access to our heritage, for both residents and visitors.
Support the vital tourist economy of the islands, recognising that heritage is a key element.
Ensure that the historic environment is used as a key driver and focus for inward investment, regeneration and re-development, particularly within the islands' settlements.
Explore ways in which new developments can be successfully integrated with the existing historic environment.
Create and support strong partnerships between public, private and voluntary sectors.
Support organisations applying for funding, and maximise the opportunities for external funding to benefit the historic environment.
Ensure that heritage assets and their settings, as well as the wider historic environment, are appropriately managed and maintained, whether in public or private ownership.

239. **Assessing Development Proposals** Where heritage assets are likely to be affected by development proposals, these should be identified at the pre-application stage. Applications for development should describe the significance of any heritage asset affected, including any contribution made by their setting. The level of detail should be proportionate to the asset's importance, in order to understand the potential impact of the proposal on its significance. Essentially, an application should clearly demonstrate what is significant about any heritage, and how that significance would be affected by the proposal, whether a material change of use or physical development.
240. The Cornwall and Isles of Scilly HER¹⁹ should be consulted as a minimum to determine whether or not a heritage asset is likely to be affected, and its significance. The national online repository of historic designations can be found on

¹⁹ CE44 [Heritage Gateway](#)

the Heritage Gateway or the National Heritage List for England, which is available through Historic England's website.

241. The Planning Department should be contacted to determine the level of information required to support a planning application. In some circumstances, a Heritage Assessment may be required.
242. The setting of heritage assets is often essential to their character and legibility. The setting can be the immediate surroundings, but may often include land some distance away, where the context of the heritage asset can be appreciated. Insensitive development or changes to the landscape can affect the significance of the asset and the ability to appreciate it within its surroundings. Proposals for development will need to address their impact on the setting, and seek to preserve those elements that make a positive contribution to the significance of the asset. In considering proposals that affect Listed Buildings, the Council has a statutory duty to consider the impact of development on their setting.
243. Development proposals affecting important heritage assets will be permitted provided they do not detract from the significance, character and setting of an asset. Particular support will be given where a proposal better reveals the significance of the asset.
244. The harm or loss of part or the whole of any heritage asset will need to be justified, on the basis that much of the historic environment is irreplaceable and should be retained wherever possible and feasible. Where the proposal would result in the substantial harm or loss of a designated heritage asset of the highest significance,²⁰ evidence will be required that there are considerable public benefits to justify its loss, or that there are no other mechanisms for supporting the retention of the asset.
245. The merits of an alternative use may be considered where this would retain the heritage asset, provided that it would not result in the loss of its important elements. It would also be important to ensure that any alternative use is capable of funding the conservation of the asset. Should the substantial harm or loss, either in whole or in part, be agreed, a clear indication that there are detailed plans and delivery mechanisms for the proposal's implementation will be required. The condition of an historic asset resulting from deliberate damage and neglect will not be taken into account in any decision.
246. In order to advance the understanding of the significance of the asset to be lost, where permission is granted, appropriate conditions and/or planning obligations may be used to ensure that heritage assets are appropriately recorded, conserved or enhanced. Measures secured may include provision for a proportionate recording of assets prior to commencement of any works, and which will be made publicly available.

²⁰ CE01 [National Planning Policy Framework 2019](#) Paragraph 194(b)

247. **Conservation Area** The special architectural and historic interest of the islands was recognised in 1975 when all of the inhabited islands were designated as a Conservation Area under the Civic Amenities Act. As a result, it is necessary for the character and appearance of each island to be preserved or enhanced by any development. In considering proposals, account will be taken of how well the design and location of the development has considered:

Key conservation area considerations

The characteristics and context of the site and surroundings in terms of, for example, important buildings, spaces, landscapes, walls, trees and views into or out of the area;

The form, scale, size and massing of nearby buildings, together with materials of construction.

248. Proposals should demonstrate that they will make a positive contribution to the character and quality of the Conservation Area, which will be at least equal to or better than the existing situation. Not all buildings within the Conservation Area contribute to what is important in terms of its character or significance. Proposals that would result in an enhancement of the Conservation Area through the alteration or replacement of those buildings that do not make a positive contribution will be supported.
249. Whilst the current Conservation Area boundary includes all of the islands, there is merit in exploring, through a Conservation Area assessment and management plan, whether there are areas that would benefit from exclusion from this designation. Such an assessment would highlight the importance of those genuinely significant historic elements of the built-up areas of each island. Areas such as the industrial estate and waste site at Porthmellon, for example, do not merit inclusion in a Conservation Area designation. Applying Conservation Area principles to such areas diminishes the value that this designation conveys for genuinely important parts of the islands. The Council will seek to carry out regular reviews of its Conservation Area boundary, as required by the Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990, which makes it a positive legal duty to assess such boundaries.
250. **Listed Buildings** Listed Buildings are those that appear on the Secretary of States 'List of Buildings of Special Architectural or Historic Interest', prepared by the Department of Culture, Media and Sport (DCMS). The statutory body responsible for maintaining the National Heritage List for England (NHLE)²¹ is Historic England.
251. Listed Buildings are grouped into three grades, indicating their relative importance. These are Grade I (one), II* (two-star) and II (two), with Grade I the most important. The majority (116 out of 128) of Listed Buildings on the islands are Grade II. Contrary to popular misconception, when a building is added to the NHLE, the whole of the building (both internal and external) is listed, as well as its curtilage. All three grades are subject to the same legislation.

²¹ CE45 [Search the National Heritage List for England](#)

252. The listing of a building confers a significant degree of protection, and special attention must be paid to maintain its character. Permission in the form of Listed Building Consent is required for any works of demolition, extension or alteration that affect the character of the building as one of special architectural or historic interest. This consent is entirely separate from any need to obtain planning permission.
253. In assessing either planning or Listed Building applications, proposals should consider factors such as materials, layout, architectural features, setting, scale and design. Proposals that allow for viable uses that are compatible with the conservation of the fabric of the building and its setting will generally be supported.
254. The intention is to produce guidance notes on Listed Buildings, which would include details on the responsibilities of owners and how to apply for Listed Building Consent, the implications for development in the Conservation Area, and guidance for householders and property owners on the wide-ranging Article 4 Directions. Existing Article 4 Directions²² will be reviewed and updated in line with current regulations on permitted development. These will be available on the Council's website and sent to householders as appropriate.
255. **Scheduled Monuments** The islands contain a wealth of Scheduled Monuments which constitute an irreplaceable resource for, and record of, the Isles of Scilly's evolution. These are remains, buildings or structures of national importance, protected under the Ancient Monuments and Archaeological Areas Act 1979. Any works affecting a monument will require Scheduled Monument Consent from the Secretary of State for the Department of Culture Media and Sport (DCMS), in addition to any permission or consents required from the Council under the Planning Acts. To protect the integrity of monuments, including the below-ground archaeological remains, preservation should take place in situ wherever possible.
256. **Archaeology** Areas that have multiple heritage assets (both designated and non-designated) have been defined as Archaeological Constraint Areas (ACA). All of the ACAs on the islands have been identified on the Policies Map. In these areas it is likely that development proposals may also require archaeological monitoring, guided by a Written Scheme of Investigation (WSI) that sets out how archaeological findings are managed, recorded and published. The ACAs were defined in 1995 through funding by English Heritage (Historic England) and the Council of the Isles of Scilly. Their purpose is to indicate the location of recorded archaeological remains and historic sites and structures. For non-designated heritage assets, development proposals should take into consideration any impact upon archaeology within these areas.
257. Development that would involve ground disturbance in areas of known archaeological potential should be sensitively designed and located. A desk based

²² CE46 [Article 4 Directions on the Isles of Scilly](#)

archaeological assessment and, in certain circumstances, a field evaluation will be required. Where appropriate, archaeological remains should be preserved in situ with development being sensitively designed and located to allow their retention or minimal harm. Where this is not possible or feasible, a programme of archaeological investigation, excavation and recording prior to commencement will be required.

258. Where an application affects or has the potential to affect heritage assets with an archaeological interest, including Scheduled Monuments, within the curtilage of a Listed Building or archaeological constraint area, applications must include an appropriate desk-based assessment and, where necessary, a field evaluation which may need to include full excavation, examination and recording.

259. **Registered Parks and Gardens** The islands contain one Registered Park and Garden: Abbey Garden on Tresco, which is designated as Grade I. The site dates back to the mid-19th century and comprises 6 hectares of gardens and around 24 hectares of ornamental plantations, through which a series of walks pass an ornamental lake. The site occupies a ridge of high ground that drops north to the Great Pool, south of which stands the principal building of Tresco Abbey. The designation includes the principal building of the Abbey, kitchen gardens, as well as a series of terraced gardens and pleasure grounds.

260. **Non-Designated Assets** Non-designated heritage assets do not have statutory protection, but have a degree of significance which merits consideration in planning decisions. These assets include locally important and traditional buildings, and non-scheduled archaeological remains. These assets and features make an important contribution to the historic character of that area. The merits of a development affecting an undesignated heritage asset will be balanced against the scale of the harm or loss, either directly or indirectly, to the significance of that heritage asset.

261. **Heritage at Risk** The Council will monitor buildings or other heritage assets at risk through neglect, decay or other threats. Deliberate neglect of a heritage asset is not sufficient justification for development resulting in harm or complete loss. Solutions will be sought for assets 'at risk' through discussions with owners and, where appropriate, encouraging development schemes that would ensure the repair, restoration and maintenance of the asset. As a last resort, the Local Planning Authority would use its statutory powers to protect the asset.

POLICY OE7 Development affecting Heritage

(1) Great weight will be given to the conservation of the islands irreplaceable heritage assets. Where development is proposed that would lead to substantial harm to assets of the highest significance, including undesignated archaeology of national importance, this will only be justified in wholly exceptional circumstances, and substantial harm to all other nationally designated assets will only be justified in exceptional circumstances. Any harm to the significance of a designated or non-designated heritage asset must be justified.

(2) Proposals causing harm will be weighed against the substantial public, not private, benefits of the proposal, and whether it has been demonstrated that all reasonable efforts have been made to sustain the existing use, find new uses, or mitigate the extent of the harm to the significance of the asset; and whether the works proposed are the minimum required to secure the long-term use of the asset.

(3) In those exceptional circumstances where harm to any heritage asset can be fully justified, and development would result in the partial or total loss of the asset and/or its setting, the applicant will be required to secure a programme of recording and analysis of that asset, and archaeological excavation where relevant, and ensure the publication of that record to an appropriate standard in a public archive.

(4) Proposals that will help to secure a sustainable future for the islands' heritage assets, especially those identified as being at greatest risk of loss or decay, will be supported.

(5) Conservation Area

Development within the Isles of Scilly Conservation Area will be permitted where:

- a) it preserves or enhances the character or appearance of the area and its setting;
- b) the design and location of the proposal has taken account of:
 - I. the development characteristics and context of the area, in terms of important buildings, spaces, landscapes, walls, trees and views within, into or out of the area; and
 - II. the form, scale, size and massing of nearby buildings, together with materials of construction.

(6) Listed Buildings

Development affecting Listed Buildings, including alterations or changes of use, will be supported where:

- a) it protects the significance of the heritage asset and its setting, including impacts on the character, architectural merit or historic interest of the building; and
- b) materials, layout, architectural features, scale and design respond to and do not detract from the Listed Building; and
- c) a viable use is proposed that is compatible with the conservation of the fabric of the building and its setting.

(7) Scheduled Monuments and Archaeology

Proposals that preserve or enhance the significance of Scheduled Monuments or Archaeological Sites, including their setting, will be supported where measures are to be taken to ensure their protection in situ based upon their significance. Where development would involve demolition or removal of archaeological features, this must be fully justified, and provision must be made for excavation, recording and archiving by a suitably qualified person(s) prior to work commencing, to ensure it is done to professional standards. Development within the Garrison on St Mary's (i.e. any land or building within the Garrison Wall Scheduled Monument) and its setting should accord with the Garrison Conservation Plan 2010 (or any successor plan). Proposals that would result in harm to the authenticity and integrity of the Garrison as a strategically important coastal defensive site should be wholly exceptional. If the impacts of a proposal

are neutral, either on the site's significance or setting, then opportunities to enhance or better reveal significance should be taken.

(8) Registered Parks and Gardens

Planning permission for development that preserves or enhances the special historic landscape character and interest of the Tresco Abbey Garden, including its setting, will be granted where:

- a) It is demonstrated that the proposal seeks to protect original or significant designed landscapes, their built features and setting; or
- b) The proposal includes restoration or reinstatement of historic landscape features to original designs using appropriate evidence, or that the proposed works better reveal their setting.

(9) Non-designated Local Heritage Assets

Development proposals that positively sustain or enhance the significance of any local heritage asset and its setting will be permitted. Alterations, additions and changes of use should respect the character, appearance and setting of the local heritage asset in terms of the design, materials, form, scale, size, height and massing of the proposal. Proposals involving the full or partial demolition, or significant harm to a local heritage asset will be resisted unless sufficient justification is provided and the public benefits outweigh the harm caused by the loss of the asset.

(10) All development proposals should be informed by proportionate historic environments assessments and evaluations (such as heritage impact assessments, desk-based appraisals, field evaluation and historic building reports) which identify the significance of all heritage assets that would be affected by a proposal, and the nature and degree of any effects; and which demonstrate, in order of preference, how any harm will be avoided, minimised or mitigated.



Isles of Scilly Local Plan

Including Minerals and Waste

2015 to 2030

VERSION: ADOPTED
25TH MARCH 2021



Council of the
ISLES OF SCILLY



Publication Details

Isles of Scilly Local Plan 2015–2030 | *Adopted*

Published | *27th March 2021*

Full Council Approval | *25th March 2021*

If you require any of the documents in an alternative language, in larger text, Braille, easy read or in an audio format, please contact the Council at diversity@scilly.gov.uk or telephone *0300 1234 105*.

Council of the Isles of Scilly
Isles of Scilly Local Plan 2015–2030
The Planning Department
Town Hall
St Mary's
Isles of Scilly
TR21 0LW
planning@scilly.gov.uk

Plan can make a major contribution to achieving these targets locally, through the Spatial Strategy. Mitigating and adapting to climate change is achieved through criteria-based policies, which will also guide decision-making. The Local Plan, read as a whole, seeks to shape new and existing development through its policies and by supporting sustainable design, more effective site waste management and enhanced biodiversity. To support the islands' resilience to a changing climate and to tackle climate change locally, the Council is committed to ensuring that all new developments have as low a carbon impact as practically possible.

103. It is recognised that the Building Regulations are the primary means of ensuring energy efficiency in buildings, through its control over construction. The planning system does, however, have a role in promoting zero and low-carbon development through good design practices. Although the Local Plan is not proposing to apply an additional sustainability standard, support will be given to proposals that exceed current Building Regulations. Since 2007 the Isles of Scilly Design Guide, a Supplementary Planning Document (SPD), has promoted sustainable design.

POLICY SS1 Principles of Sustainable Development

(1) Development proposals will be permitted where they make a positive contribution to the social, economic and environmental needs of the Isles of Scilly in a manner that does not compromise the ability of future generations to meet their own needs and to enjoy the islands outstanding environment, by:

- a) conserving and enhancing the outstanding natural, built and historic environment;
- b) locating, designing and constructing development where it makes a positive contribution to reducing the islands' carbon footprint and consumption of natural resources;
- c) improving accessibility and creating a network of safe and well-connected routes by integrating measures that encourage and promote walking, cycling and electric vehicles as part of any new development wherever opportunities allow;
- d) promoting the value of biodiversity, geodiversity and soils, including the potential contribution from natural capital³ and ecosystem services⁴;
- e) taking into account the long-term implications of climate change and rising temperatures for flood risk, coastal change, water supply, biodiversity and landscapes;
- f) promoting cohesive and resilient communities on each island; and
- g) generating and sustaining economic activity.

104. **Sustainable Design** The detailed design of buildings and use of materials have provided the islands with character and identity. The Council will seek to maintain and strengthen the character and identity of each island and the

³ Natural capital can be defined as the world's stocks of natural assets which include geology, soil, air, water and all living things.

⁴ Ecosystem services are the benefits provided by ecosystems that contribute to making human life both possible and worth living and include provisioning, regulating, supporting and cultural benefits of natural environmental processes.

distinctiveness of areas within them by ensuring that development is undertaken using natural, sustainable materials and styles that complement those found in the local area, and which avoid proliferating the use of unacceptable or unsustainable resources. This approach does not require traditional construction methods and materials, given the viability and sustainability costs of sourcing such materials, but about ensuring designs and materials are otherwise sustainable in a complementary and appropriate manner.

105. Much of the identity of an area is derived from a combination of distinctive local building types, materials, layouts, the relationship between buildings, and making use of natural features. The pattern of development varies across the five inhabited islands. On St Mary's there will often be a discernible pattern of development, with either a historic core or obvious later modern developments with a particular style. New development should complement distinctive local features and patterns, with regard given to the orientation and character of the immediate area. The Isles of Scilly Design Guide supplements Policy SS2, and sets out the detailed design characteristics of the islands.
106. All new buildings should be carefully designed to respect and enhance their surroundings. Buildings that are out of scale can detract from the character and amenity of an area. A building's scale, including its height and massing (the combined effect of its footprint, volume and shape) determines its impact on views, skylines, and its relationship with surrounding buildings and spaces, as well as on neighbouring and wider amenity.
107. New buildings should be of a similar scale to other buildings in the surrounding area, unless they are required to reflect a development's function or to create a landmark in an appropriate location. In such cases, larger-scale buildings may be appropriate, provided that important views and vistas from the public realm are retained, especially those of landmark features.
108. Developments are generally more attractive if they have a degree of visual interest. The range of styles and materials used should be limited, to avoid a disjointed appearance. Visual interest can be provided through detailing, provided this does not detract from the character of an area. Original and innovative designs can be used to help raise the standard of design in an area, although it is important that such designs do not detract from the visual unity of areas that already have a successful and compatible mix of styles and materials.
109. Given the high environmental quality and finite amount of land, the efficient use of land will be supported where development is appropriately designed and sited in sustainable locations.
110. Extensions or alterations can have a cumulative impact on the character of the area, and can overwhelm an existing building to the extent that its original character and/or symmetry is significantly eroded. Proposals should therefore be subsidiary to the

original building and not of a dominant scale, and take into account the wider impacts upon the environment. Policy LC9 should be applied specifically to domestic extensions.

111. As part of the commitment to maintain and enhance the natural environment, consideration should be given to incorporating measures to increase biodiversity through, for example, following the guidance set out in 'Building with Nature'.⁵ As a minimum, bird and bat boxes should be incorporated into the design of buildings or extensions, with measures to reduce any impacts from current threats to biodiversity on the islands, including rats.

POLICY SS2 Sustainable Quality Design and Place-Making

(1) Development will not be permitted if it is considered to be of poor or unsustainable design. New development must be of a high-quality design and contribute to the islands' distinctiveness and social, economic and environmental elements of sustainability by:

- a) respecting and reinforcing the character, identity and local distinctiveness of an area whilst not stifling innovation, and with the scale, density, layout, height, mass and materials responding positively to the existing townscape, landscape and seascape setting;
- b) ensuring that development does not dominate or interrupt important public views, key landmark buildings or significant cultural and heritage features;
- c) making efficient use of the land whilst respecting the character of the site and surrounding area and neighbouring land uses;
- d) safeguarding the amenity of individuals and properties by creating a high-quality environment that addresses issues of privacy, overlooking, overshadowing, overbearing impacts and unreasonable noise and disturbance;
- e) providing high-quality and clearly defined safe private, semi-private and public spaces, including recreational facilities and green infrastructure where appropriate;
- f) ensuring that buildings can easily be altered and adapted to meet changing social and economic conditions and are resilient to climate change, including features to mitigate or enable rapid recovery from a flooding event where recommended in a Flood Risk Assessment;
- g) providing opportunities for achieving measurable net gains in biodiversity by ensuring that natural and semi-natural features are created and enhanced as integral elements of the design, through the provision of features such as bird and bat boxes, and by incorporating measures that support the removal of any threats to the islands' biodiversity;
- h) promoting physical activity by incorporating Sport England Active Design principles⁶ wherever appropriate;
- i) requiring sensitively designed adverts and signage that are appropriate and sympathetic to their local setting in terms of scale, design and materials;

⁵ CE14 [Building with Nature](#)

⁶ CE15 [Sport England Active Design Principles](#)

- j) incorporating measures to reduce any actual or perceived opportunities for crime or anti-social behaviour, and which promote safe living environments;
- k) minimising the consumption of resources by requiring sustainable construction and design by:
 - I. incorporating high standards of energy efficiency and maximising opportunities for the micro-generation of renewable, low-carbon and decentralised energy, and where appropriate plugged into the Smart Grid;⁷
 - II. incorporating passive design measures for heating, cooling, ventilation and natural light, to reduce overall energy demand and improve energy efficiency;
 - III. using natural resources more prudently, including the use of locally sourced, recycled or low-carbon materials in construction where they are available and represent a viable option;
 - IV. reducing pressure on water resources and increasing re-use by incorporating effective water management measures, including Sustainable Urban Drainage Systems, green roofs and water-saving devices, and rain/grey water collecting and recycling facilities; and
 - V. providing appropriate vermin-proof waste and recycling storage appropriate for the scale of development proposed, and provision for kerbside waste and recycling collections consistent with the islands' waste management practices.

(2) Development proposals that involve the construction or conversion of buildings will need to be supported by a statement of Sustainable Design Measures (SDM) and a Site Waste Management Plan (SWMP).

112. **Re-Using Buildings** The re-use of previously developed land and buildings is a sustainable way of reducing the need to construct new buildings, and reduces the depletion of greenfield land. The Agricultural Buildings of Scilly project, which was carried out in 1995, sought to identify all existing traditional agricultural buildings on the islands. Many of these buildings still remain, and it is vital that any re-use of these, as well as other non-agricultural buildings, is sympathetic to the character and scale of the existing structures and surrounding landscape character. The re-use of any existing historic or traditional building, particularly those agricultural buildings listed in the Agricultural Buildings of Scilly Project, should be accompanied by a structural survey to ensure it can be viably converted.
113. To support growth and expansion of the rural economy, existing buildings that are suitable for conversion should be used for small-scale business uses, to help sustain the rural economy without creating the need for new buildings in the countryside. Employment uses will often require only minor alterations to the structure or exterior of the building, thereby maintaining a traditional appearance in the rural scene; and, in the case of buildings of historic or architectural merit, their original character.

⁷ The Smart Grid is one of the projects of the Smart Island Programme and concerns smart technology for homes.



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- Acknowledgements

Design elements

This section is about taking care with the details of design. Once a thorough understanding of character has been achieved and issues associated with site layout, scale, proportion and massing addressed, then the detail of the design elements can be considered. Design elements in their own right should never lead the design process. They are subservient to the issues associated with layout, scale and proportion. Although they may appear straightforward, they are often mishandled, poorly constructed and result in clumsy and ugly design.



St Martin's

Sustainable choice of materials:

Due to the limited sourcing and supply of local building materials available within the Isles of Scilly, it is of particular importance to adopt the sustainable principle of re-use, recycling and restraint in the construction process. The traditional character of buildings on Scilly reflects this principle.

The substantial costs of importation of building materials reinforce the need to make the best use of existing or new materials. Within this context and that of an exposed but mild climate with the additional abrasive effect of sand blow in many locations, an approach to selection, design, detailing and craftsmanship of material which is robust is appropriate.

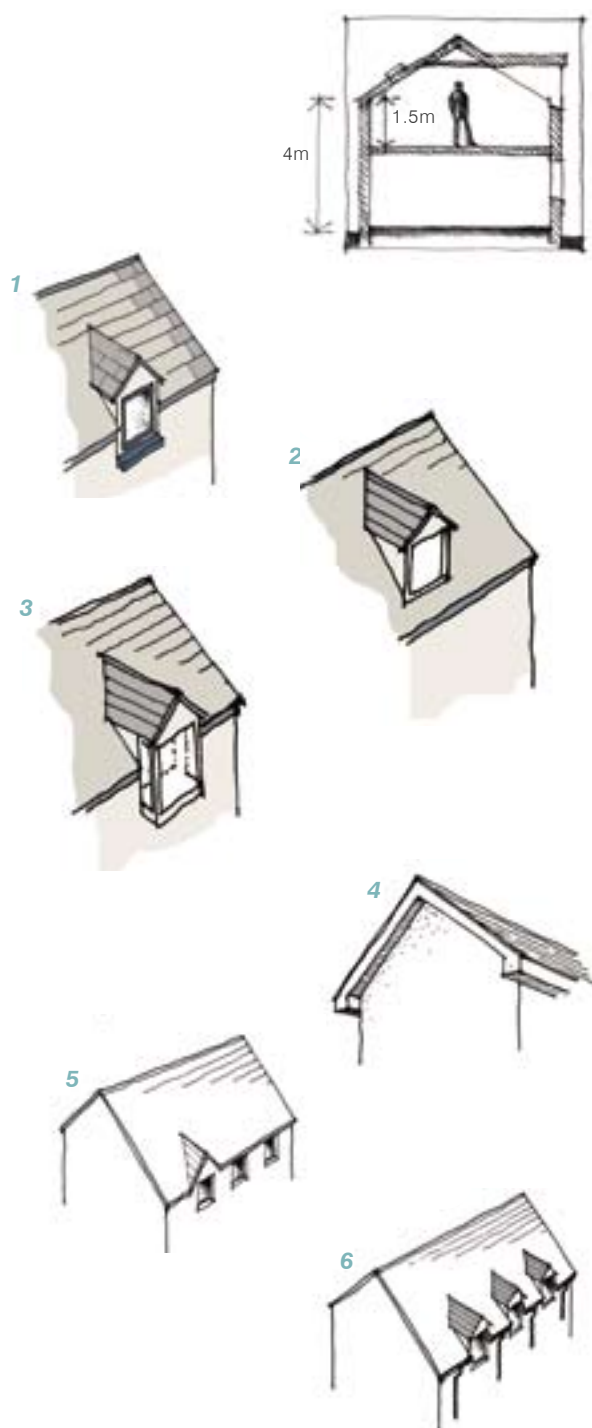
- Wherever possible, recycled or reclaimed materials sourced locally on the Isles of Scilly should be used.
- Design to facilitate future recycling – thought should be given from the outset on how the building will be deconstructed.
- Use renewable materials - if a material has a short life span, it is important to ensure that it is easily renewed (like timber or thatch). Buildings should also be capable of maintenance and repair on a long term basis. Appropriate skills need to be available.
- Choose materials with low-embodied energy. Embodied energy is the amount of energy required to supply a material and includes quarrying, processing, manufacturing and transportation to point of use.
- Choose materials that have a minimal impact on the environment and health: how does the material impact on the global environment (CO₂ emissions, destruction of ozone layer) and local environment (felling, quarrying); how is the environment impacted by processing and transporting the material; what are the health hazards associated with processing, sourcing and fabricating the material?

Dormers

Whilst dormer windows are not a significant feature in traditional Scillonian cottage buildings, they are seen in later buildings from the 19th Century onwards. Dormers are a useful architectural device where a new building requires a low eave (part of a roof which projects out from the side wall) height in order to achieve a sympathetic scale in relation to adjacent buildings. Dormers can take different forms, but they should not have the effect of creating a 'boxy' or busy (cluttered) roofscape.

Achieving Lower Eaves Heights

The eaves height of standard modern houses is about 5 metres above ground level. This could look out of scale when in close proximity to a traditional Scillonian cottage, whose eaves are about 4 metres above ground level. Lower eaves can be achieved in modern homes by having trusses at about 1.5 metres above the first floor level.



1. Dormers can add character to a building and are a useful device in reducing eaves height in new buildings to the scale of traditional cottages

2. Dormers in the roofspace are more likely in roofs over 40 degrees pitch and are therefore less prevalent. Ensure that the ridge of the dormer is at least 300mm below the roof ridgeline

3. An occasional projecting dormer can add an accent to an elevation, perhaps in a prominent 'lookout' location

NOTE the virtually flush eaves and minimal bargeboards (board, often ornately carved, attached along the projecting edge of a pitched roof in front of a gable) in these designs

4. Avoid projecting box eaves and deep bargeboards. These are suburban in character and have little in common with the traditional buildings on the Islands

5. Avoid 'cosmetic' dormers - where the design and size of the window is the same as others without dormers.

If elevations require more interest, this can be achieved by better window design and/or the design of a 'true' dormer

6. Dormers should not break the eaves line if this results in 3 or more rain-water downpipes visible on the elevation. This gives a fussy, dissected appearance to the elevation.