



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, St Mary's TR21 0LW

Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990

Town and Country Planning (Development Management Procedure) Order 2010

PERMISSION FOR DEVELOPMENT

Application No:	P/21/059/HH	Date Application Registered:	30th July 2021
Applicant:	Robert & Ulrica Ife Vine Cottage 6 Higher Strand Hugh Town St Mary's Isles Of Scilly TR21 0PT	Agent:	Robert Green Charlotte House Garrison Lane St Mary's Isles Of Scilly TR21 0JD

Site address: Vine Cottage 6 Higher Strand Hugh Town St Mary's Isles Of Scilly
Proposal: Two storey rear extension and additional bedroom (Listed Building).

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- Location Plan, Block Plan and Heritage Impact Statement, Drawing Number: VC01, dated June 2021
 - Existing Floor Plans and Design and Access Statement Pt1, Drawing Number: VC02, dated June 2021
 - Existing Roof Plans and Design and Access Statement Pt2, Drawing Number: VC03, dated June 2021
 - Proposed Floor Plans and Design and Access Statement Pt3, Drawing Number: VC06, dated June 2021
 - Proposed Floor Plans and Design and Access Statement Pt4, Drawing Number: VC07, dated June 2021 (Sustainability and Biodiversity)
 - Proposed Elevations and Design and Access Statement Pt5, Drawing Number: VC08, dated June 2021
 - Proposed Sections, Drawing Number: VC09, dated June 2021
 - BAT Presence/Absence Survey Report, Ref: BS45-2021PAS, dated 14/06/2021 (avoidance, mitigation and enhancement)

These are stamped as APPROVED.

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and Policy OE7(5) of the Isles of Scilly Local Plan (2015-2030).

PRE-COMMENCEMENT CONDITION: Submission of Site Waste Management Plan

- C3** Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, in accordance with the waste hierarchy, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.

Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application, but are required to ensure the unnecessary production of waste is minimised and waste is recycled, reused or disposed of appropriately. In accordance with Policy SS2(2) and OE5(2) of the Isles of Scilly Local Plan 2015-2030.

- C4** All works involving machinery required in connection with the implementation of this permission shall be restricted to between 0800 and 1800 hours Monday to Saturdays. There shall be no works involving machinery on a Sunday or Public or Bank Holiday.

Reason: In the interests of protecting the residential amenities of neighbouring properties.

PRE-COMMENCEMENT CONDITION: Submission of Written Scheme of Investigation

- C5** A) No alterations shall take place until a programme of historic building recording work including a Written Scheme of Investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions, and:

1. The programme and methodology of site investigation and recording
2. The programme for post investigation assessment
3. Provision to be made for analysis of the site investigation and recording
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation
6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation

B) No alterations shall take place other than in accordance with the Written Scheme of Investigation approved under condition (A).

C) The historic building recording condition will normally only be discharged when all elements of the WSI including on site works, analysis, report, publication (where applicable) and archive work has been completed.

Reason: A pre-commencement condition is necessary in this instance due to the need to ensure that a programme and methodology of historic building recording is undertaken before physical works commence on site. This is in accordance with the provisions of NPPF (2021) Chapter 16, paragraph 205 and Policy OE7(6) of the Isles of Scilly Local Plan (2015-2030).

- C6** Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no further extensions, other than those hereby permitted shall be erected and no additional windows or other openings shall be installed within the building without the prior permission, in writing, of the Local Planning Authority.

Reason: In the interests of the privacy and amenity of adjoining property and the wider character of the Conservation Area in accordance with Policies LC8 and OE7 of the Isles of Scilly Local Plan (2015 – 2030).

- C7** Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any external lighting shall be submitted to and approved, in writing, by the Local Planning Authority. The lighting shall thereafter be installed in accordance with the agreed details.

Reason: To protect the amenities of the locality, including those of neighbouring residential properties and to protect this rural area and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

- C8** Prior to the first breeding/nesting season following completion of the development, hereby approved, the applicant shall erect one free-standing 'Kent' style bat box, developed for crevice-dwelling species, at the apex of the gable of the south-facing rear extension. This should be placed as high as possible, but below the level of the fascia. This shall be retained as such thereafter.

Reason: To promote measures to improve and awareness of the value of biodiversity on the Isles of Scilly and in accordance with the requirements of Policies SS1(d) and SS2(g) of the Isles of Scilly Local Plan (2015-2030). There is a requirement for planning policies and decisions to contribute to and enhance the natural and local environment by providing net gains in biodiversity, as required under Part 3 Section 40 of the Natural Environment & Rural Communities Act 2006 (NERC 2006) and to have due regard for biodiversity under Section 15 paragraph 170(d) of the National Planning Policy Framework 2019 (NPPF 2019).

PRE-INSTALLATION CONDITION: Samples of External Finishes

- C9** Prior to the installation of any external surface material, precise details, to include samples, of the materials to be used in the construction of the external surfaces of the development hereby permitted shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030)

PRE-INSTALLATION CONDITION: Samples of Slate/Mortar Specification

- C10** For the existing scantle roof, all the existing slate shall be set aside for re-use. Any shortfall shall be made up of natural slates to exactly match the existing in shape, size, colour and texture. The wet-lay mortar substrate shall be of a specification appropriate for laying a scantle roof. Before re-roofing starts, samples of any additional slates and the specification of the mortar required shall be made available for inspection on site, and subsequent written approval, by the Local Planning Authority. The approved slates and fixings shall then be used to roof the approved building/structure. The roof shall be retained as such thereafter.

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C11** On the front elevation windows and doors shall be set back from the outer face of the stonework, to a position that is, at minimum, the same as the position of the original windows and shall be constructed in painted timber and retained as such thereafter.

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

PRE-INSTALLATION CONDITION: Specification of Lime Mortar for Pointing

- C12** For the repointing of the existing building, before any raking out of the cement mortar commences, details of the mortar mix to be used for repointing shall be submitted to and approved in writing by the Local Planning Authority. The mortar used shall be a lime mortar and the pointing shall be brushed back from the surface of the stonework. A 1m² sample panel of pointing is to be made available on site for approval in writing by the Local Planning Authority prior to the commencement of works. The approved sample panel shall be retained on site for the duration of the works.

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

PRE-INSTALLATION CONDITION: Joinery Detail

- C13** Before removing existing windows, large scale drawings to a minimum scale of 1:20 of the external joinery, including sections, the precise construction and method of opening and cill and lintel details as well as thickness of glazing, shall be submitted to and approved in writing by the Local Planning Authority. The joinery shall then be constructed in accordance with the agreed details and be retained as such thereafter.

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C14** The ancillary workspace/shed, hereby approved, shall be restricted to ancillary use only associated with the occupation of Vine Cottage, number 6 Higher Strand.

Reason: In the interests of the privacy and amenity of adjoining property in accordance with Policies LC8 of the Isles of Scilly Local Plan (2015 – 2030).

Further Information

- 1. STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2019.
- 2. BUILDING CONTROL:** Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project: buildingcontrol@cornwall.gov.uk
- 3. DISCHARGE OF CONDITIONS:** In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. Currently, for a householder application, the fee is £34 but any fee increase would need to be applied should the national fees increase). The fee is payable for each individual request to discharge condition(s). Please check the latest fee schedule before you apply here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
- 4. NON-MATERIAL AMENDMENTS:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment (currently the fee is for this is £34 but any fee increase would need to be applied should the national fees increase) or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any

proposed amendments with the Planning Officer. Please check the latest fee schedule before you apply here:
https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf

5. **DISCOVERY OF BATS/PROTECTED SPECIES:** The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.
6. **PARTY WALL ISSUES:** As the proposed works affect the boundary with a neighbouring property, this decision does not convey any other form of consent or agreement that may be necessary in conjunction with these works and does not override or supersede any civil rights, which the neighbour may have. The attention of the applicant is drawn to the information contained in the Party Wall etc. Act 1996.
7. **BUILDING RECORDING:** Historic building recording should be rapid (but undertaken for the whole building) to Level 2 as defined by Historic England's (2016) guidance – 'Understanding Historic Buildings - A Guide to Good Recording Practice'. Recording should include a rapid descriptive analysis, digital archive-quality photography combined with brief documentary research.

Signed:



Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 29th October 2021



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Robert & Ulrica Ife

Please sign and complete this certificate.

This is to certify that decision notice: P/21/059/HH and the accompanying conditions have been read and understood by the applicant: Robert & Ulrica Ife.

1. **I/we intend to commence the development as approved:** Two storey rear extension and additional bedroom (Listed Building) at: Vine Cottage 6 Higher Strand Hugh Town St Mary's Isles Of Scilly **on:**
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name: **Contact Telephone Number:**
And/or Email:

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

PRE-COMMENCEMENT CONDITIONS :

Submission of Site Waste Management Plan

- C3 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, in accordance with the waste hierarchy, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.

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COMPLETION OF DEVELOPMENT CONDITION(S)

Biodiversity enhancement measures

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HERITAGE IMPACT STATEMENT

Vine Cottage, No.6, is situated on Higher Strand. It forms part of a row of granite built Scillonian cottages which are all of a similar design and scale and are generally in a fine state of repair. Vine Cottage is the only one in the row where alterations to the window fenestration have been carried out, changing the sash windows from 4 pane to 2 pane. This row of cottages are Grade II listed and are described as follows.

ST. MARY'S SV9010 HIGHER STRAND, Hugh Town 1358-0/8/57 (South side) 12/02/75 Nos.1-10 (Consecutive) (Formerly Listed as: EAST STRAND, Hugh Town (South side) Nos.1-10 (Consecutive))

GV II
Terrace of 10 cottages. Early/mid C19. Coursed granite rubble; gabled slate roof, slurried except to No 1; granite ridge and end stacks. Double-depth plan. Two storeys. Symmetrical 3-window range to Nos 1 and 2, 5, 6 and 7, all with central entrances; 2- window range to No 3 and 1-window range to No 4, each with left-hand entry; Nos 8-10, which are taller and later, share a 3-window first-floor range. All have granite lintels over C20 doors and late C19/C20 horned 2/2-pane sashes, except late C19 four- panelled door with glazed top light to No 3, mid C19 four-panelled door to No 6. Interiors not inspected but noted as having moulded joists.

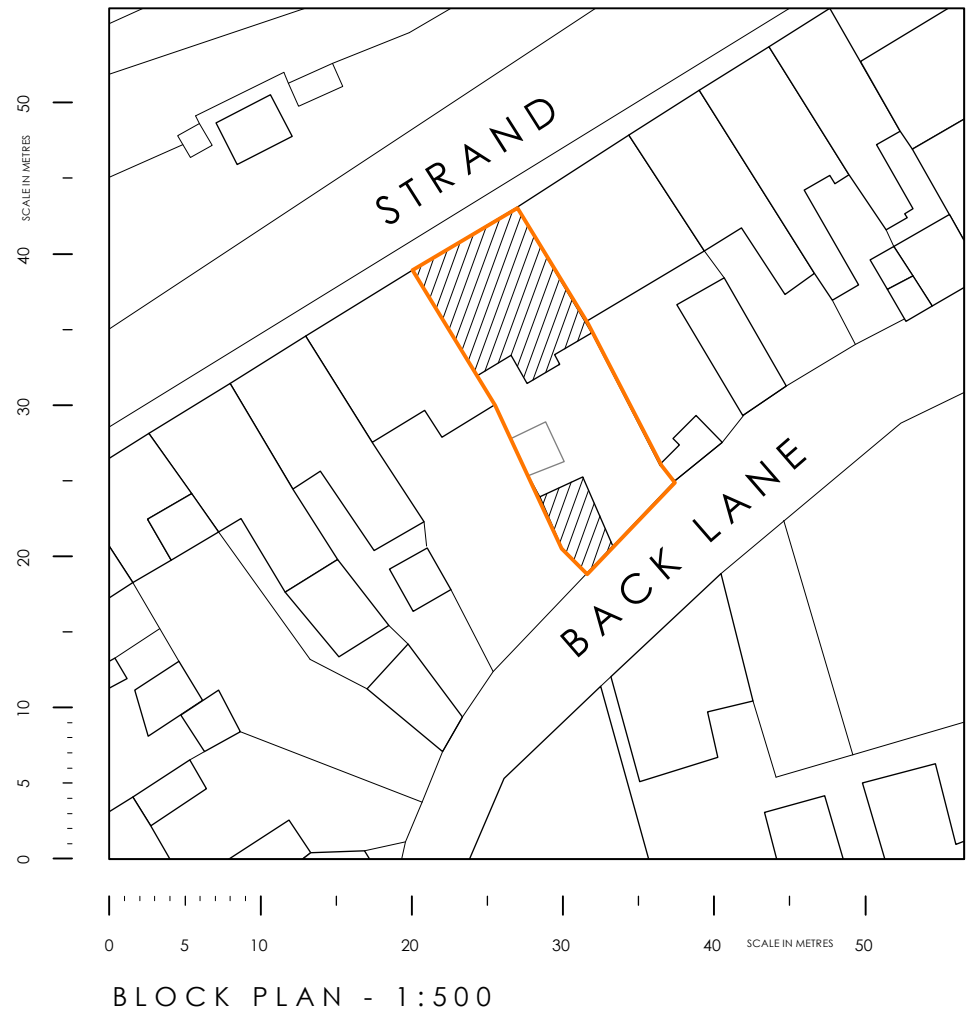
IMPACT TO SENSITIVE ELEMENTS

The main roof of Vine Cottage is scantle, as are the surrounding properties. The existing windows are in a poor state of repair and it is proposed to replace these with new double glazed multi-pane sash windows to match the adjacent properties whilst also allowing for improved thermal performance.

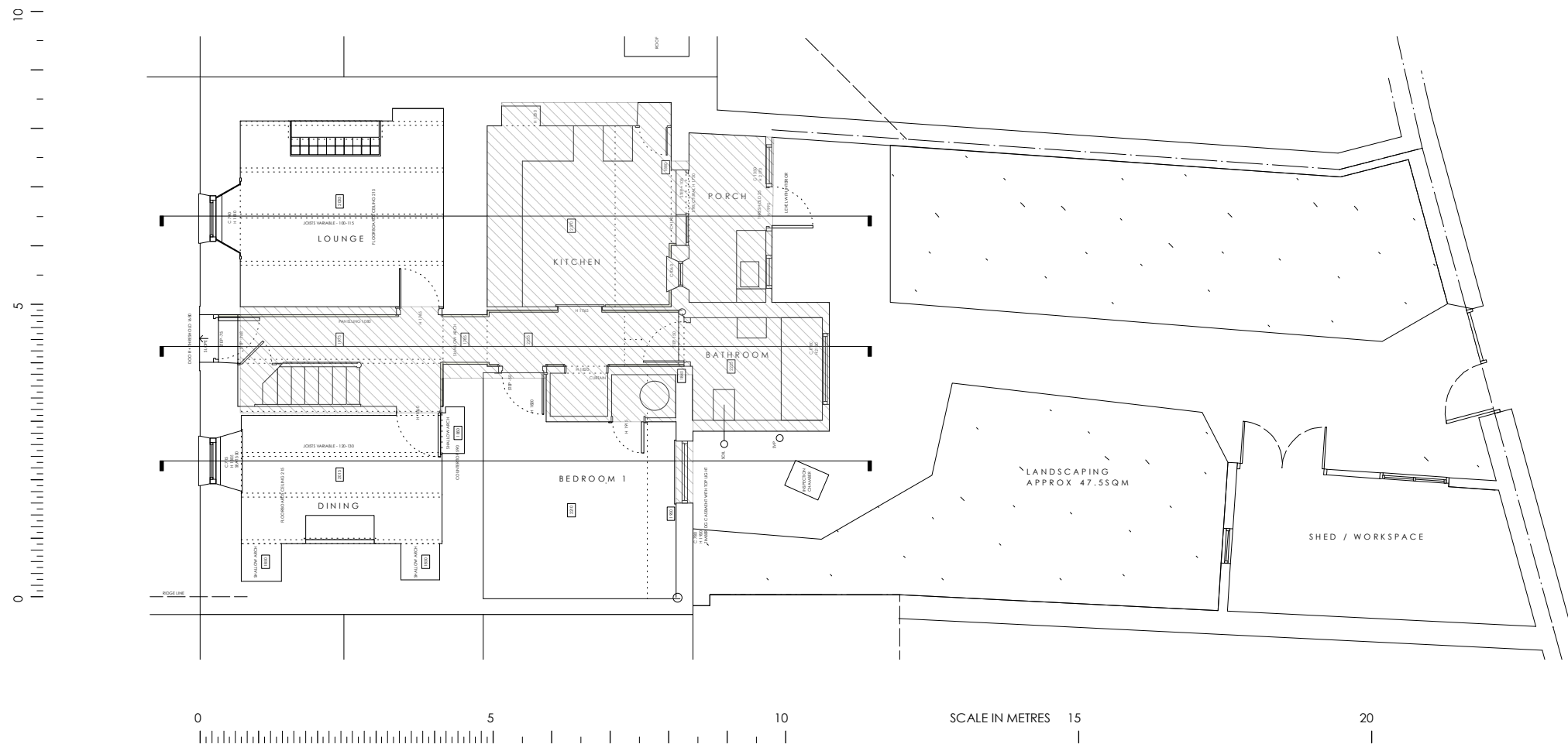
The rear of the property has been altered considerable over the years and does not reflect the character of the front elevation whatsoever. As with many on the islands, this is a mish mash of extensions which have been added to over time.

The main alterations to Vine Cottage are within an area least sensitive to change as a result of not being within the principle front elevation. There will be sympathetic renovation of the front facade.

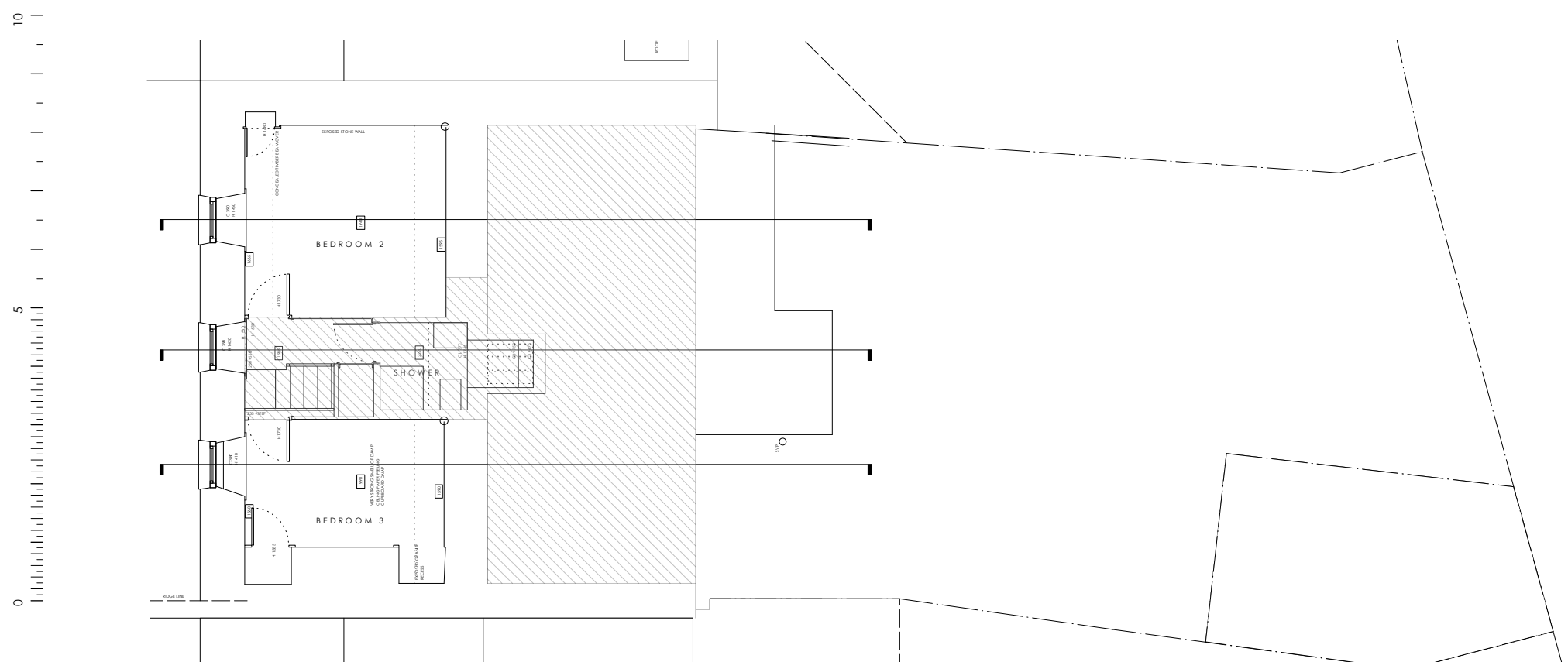
The scantle roof covering will be removed as part of the significant thermal upgrade during construction, the scantle will be carefully set aside and re-used



EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN



RECEIVED

By A King at 12:25 pm, Jul 26, 2021

DESIGN AND ACCESS STATEMENT PART 1

The building is currently listed as a 3 bedroom property, with BEDROOM 1 being on the ground floor, together with the main BATHROOM. There are a further 2 bedrooms on the first floor, with a small cramped SHOWER room.

As is to be expected from this type of property, the rooms are small with quite low ceilings. The DINING room and BEDROOM 3 are particularly cramped with a width of only 2.185m.

It is the clients wish that all the main bedrooms are situated on the upper floor and are generous enough in size to be able to furnish adequately and accomodate their family. This will allow the lower floor to be opened up to provide a more generous living area more in tune with modern expectations.

In order to acheive this much of the rear of the property will be demolished together with the current hallway and stair zone, which will be relocated.

The upper floor consists of 2 bedrms and a small shower room off the main hallway. The main roof of the property is scantle covered and pitched at approximately 30°. The rear roof (over the kitchen and Bedroom 1) is mosts likely a later addition, which is also scantle covered and is also has a 30° pitch.

It is likely that the main roof had thatch covering as there is evidence of some old roof structure to corroborate this.

VINE COTTAGE

6 HIGHER STRAND ST MARYS

EXISTING
GROUND + FIRST

DRAWING NO. VC02

DATE - JUN 2021

SCALE - 1:100 @ A3

APPROVED

By Lisa Walton at 11:31 am, Oct 29, 2021

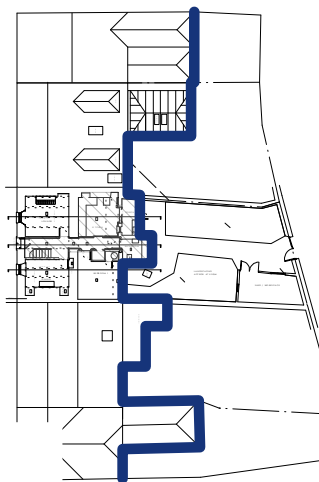
RECEIVED
By A King at 12:27 pm, Jul 26, 2021

DESIGN AND ACCESS STATEMENT
PART 2

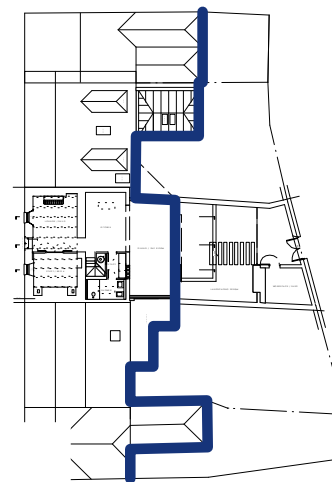
At some point the new roof structure would have been installed to take the later scantle covering.

The upper hallway will be removed as well as the rear scantle roof, which will be set aside for re-use.

The rear of this group of properties all have some form of extension, There is no consistency in style or scale. The blue line is to indicate the extent of the existing and propped rear line at ground floor level.



EXISTING



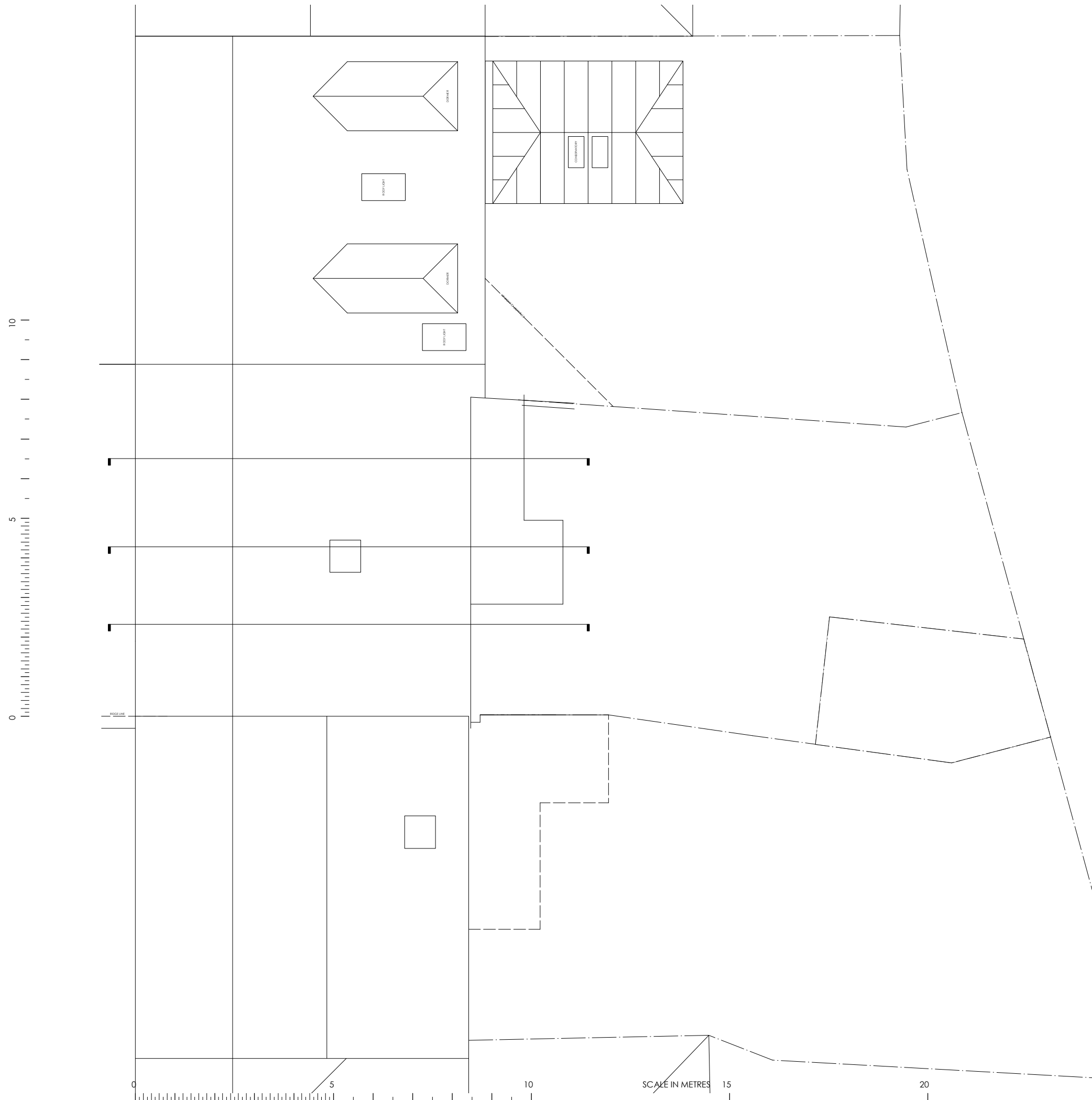
PROPOSED

APPROVED
By Lisa Walton at 11:32 am, Oct 29, 2021

VINE COTTAGE
6 HIGHER STRAND ST MARYS

EXISTING
ROOF + CONTEXT

DRAWING NO. VC03
DATE - JUN 2021
SCALE - 1:100 @ A3



RECEIVED
By A King at 12:29 pm, Jul 26, 2021

DESIGN AND ACCESS STATEMENT PART 3

The proposal is to extend at the rear of the property to form a new living / dining / kitchen zone, which takes full advantage of the natural light from the south facing garden. This extension will be in line with neighbouring single storey extension at No. 5 and will line up with a 45° extension of the footprint from the centre of the ground floor window at No.7.

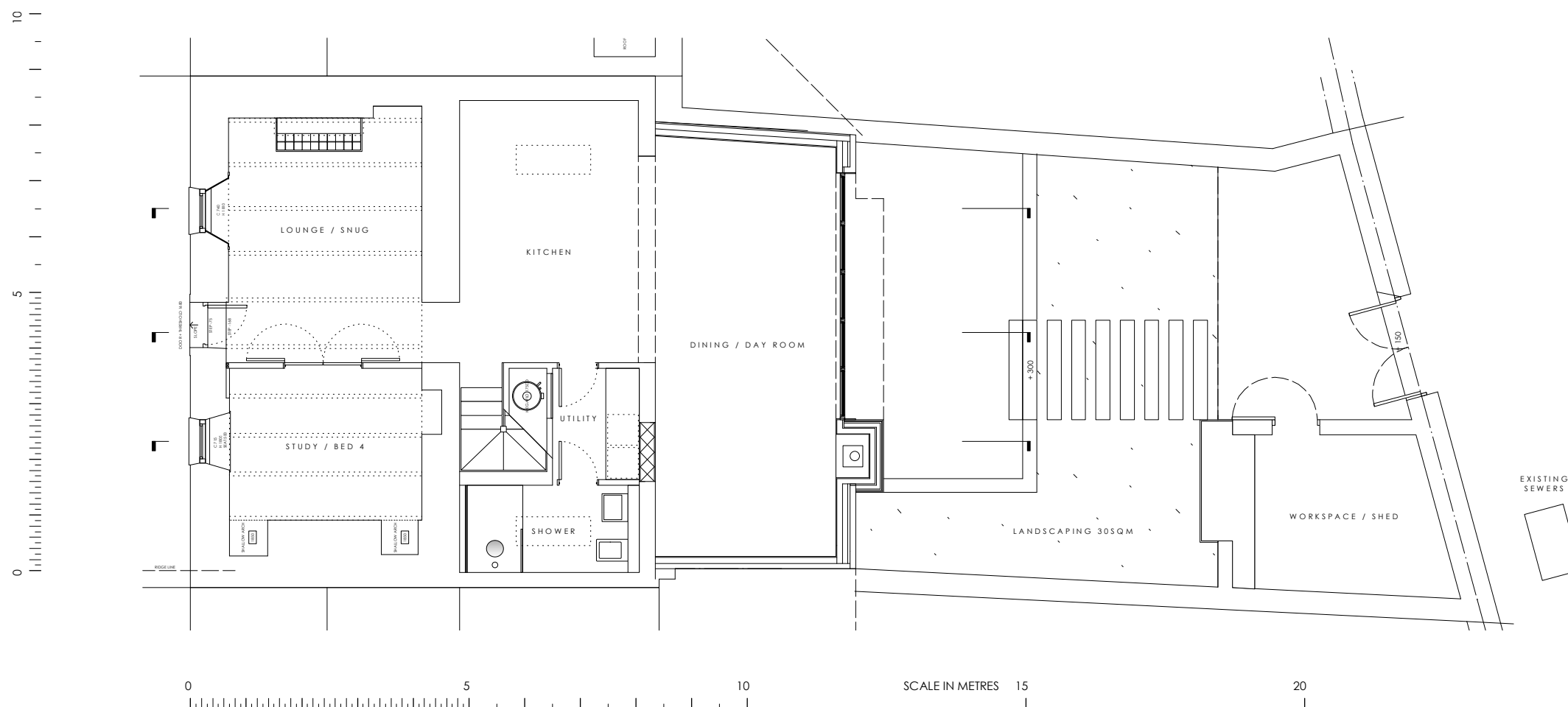
There will be a centrally located first floor extension to provide bathroom facilities and a new upper floor bedroom. The central location of this extension limits the impact on it's neighbours. This will be pitched at the same degree (30°) of the main roof and will have a hipped gable end.

The existing roof will be thermally upgraded and the existing scantle roof will be replaced together with a number of conservation rooflights to increase through ventilation in the upper, existing, bedrooms and allow light into the ground floor kitchen area and shower room.

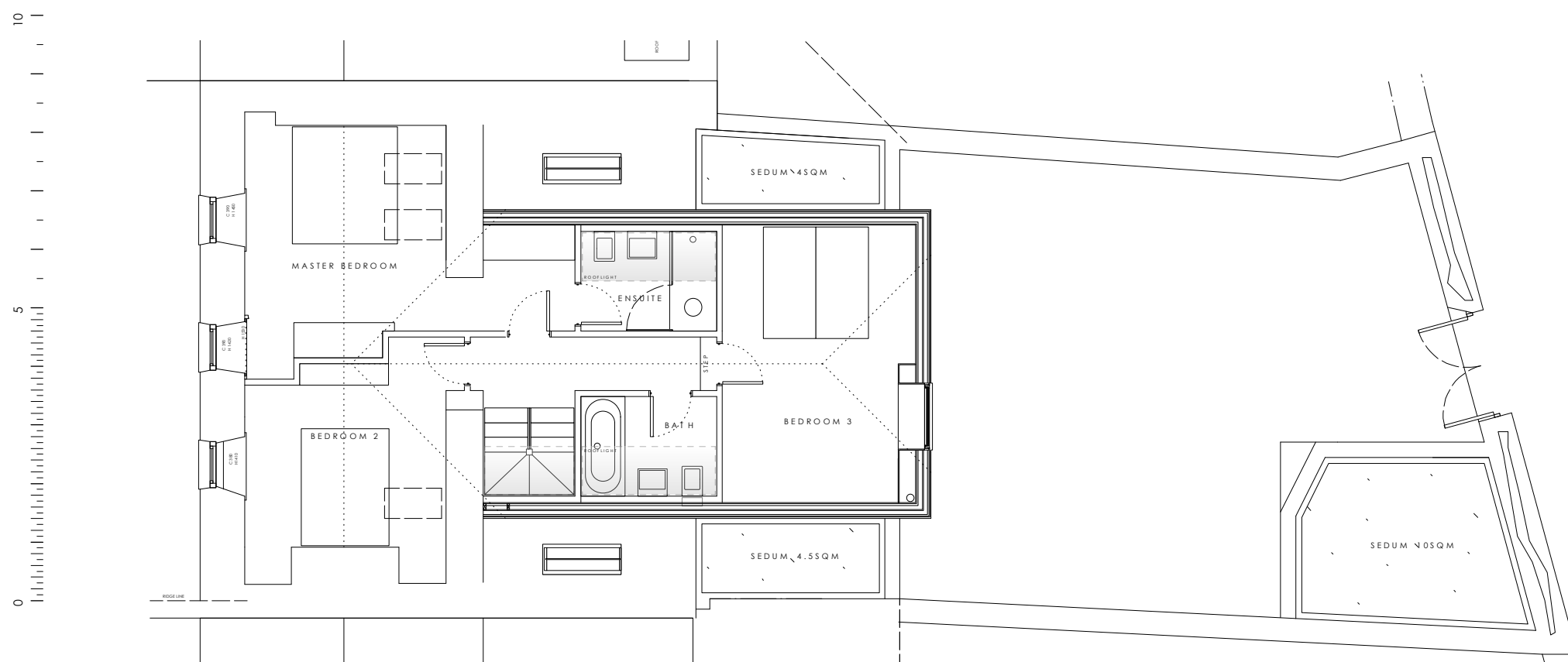
Moving the staircase outside of the original cottage footprint into the centre of the plan allows for this new circulation route to become more efficient at serving all the upstairs rooms. It also allows for an increase in size to BEDROOM 2 and the STUDY below.

APPROVED
By Lisa Walton at 11:33 am, Oct 29, 2021

PROPOSED GROUND FLOOR PLAN



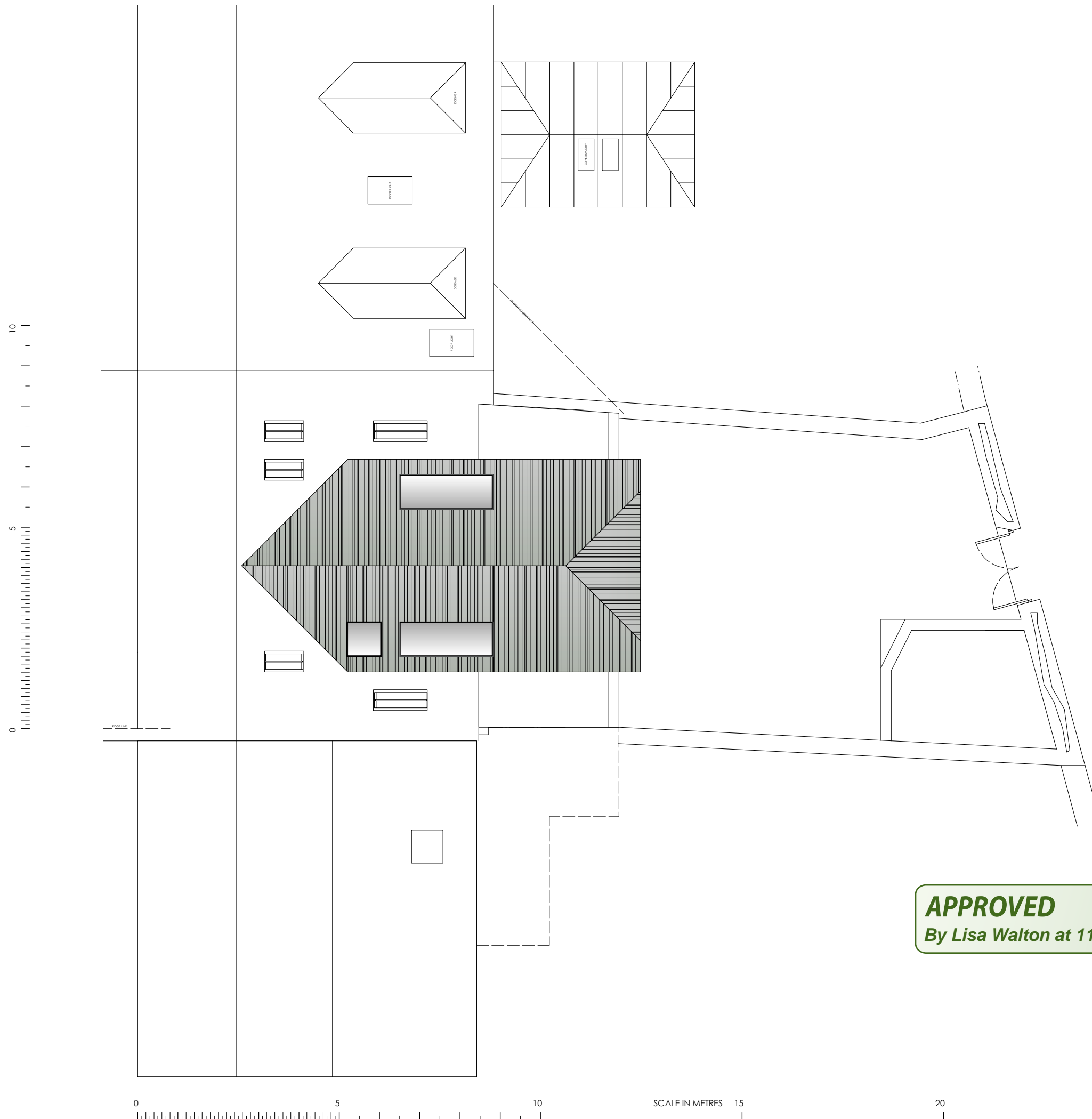
PROPOSED FIRST FLOOR PLAN



VINE COTTAGE
6 HIGHER STRAND ST MARYS

PROPOSED
GROUND + FIRST

DRAWING NO. VC06
DATE - JUN 2021
SCALE - 1:100 @ A3



RECEIVED
By A King at 2:39 pm, Jul 29, 2021

DESIGN AND ACCESS STATEMENT PART 4

SPACE STANDARDS

The existing 3 bedroom property comprises a total area of 88m² which is roughly 15% below minimum space standards.

Vine Cottage as the proposed 4 bed property will be 142sqm which is 14.5% over the minimum. National Space Standards indicate a 2 storey 4 bed, 8 person property should be a minimum of 124sqm.

This does not include the garden workshop which are 11.5m² existing and 10.5m² proposed

SUSTAINABILITY & BIODIVERSITY

The balance between these elements has been a difficult element to conclude. We have a relatively small site in which to balance the needs of sustainability and biodiversity.

To introduce solar panels into the garden area would take up too much space to the detriment of the garden space.

The proposal aims to include for the same amount of green space as the existing garden by introducing sedum roofs to the workshop and the ground floor extensions. This will maintain the amount of greenspace at approximately 48sqm.

To alleviate the energy consumption and sustainability of the building, it will be fully upgraded thermally to over and above current building regulation requirements.

APPROVED
By Lisa Walton at 11:33 am, Oct 29, 2021

VINE COTTAGE
6 HIGHER STRAND ST MARYS

PROPOSED
ROOF + CONTEXT

DRAWING NO. VC07
DATE - JUN 2021
SCALE - 1:100 @ A3

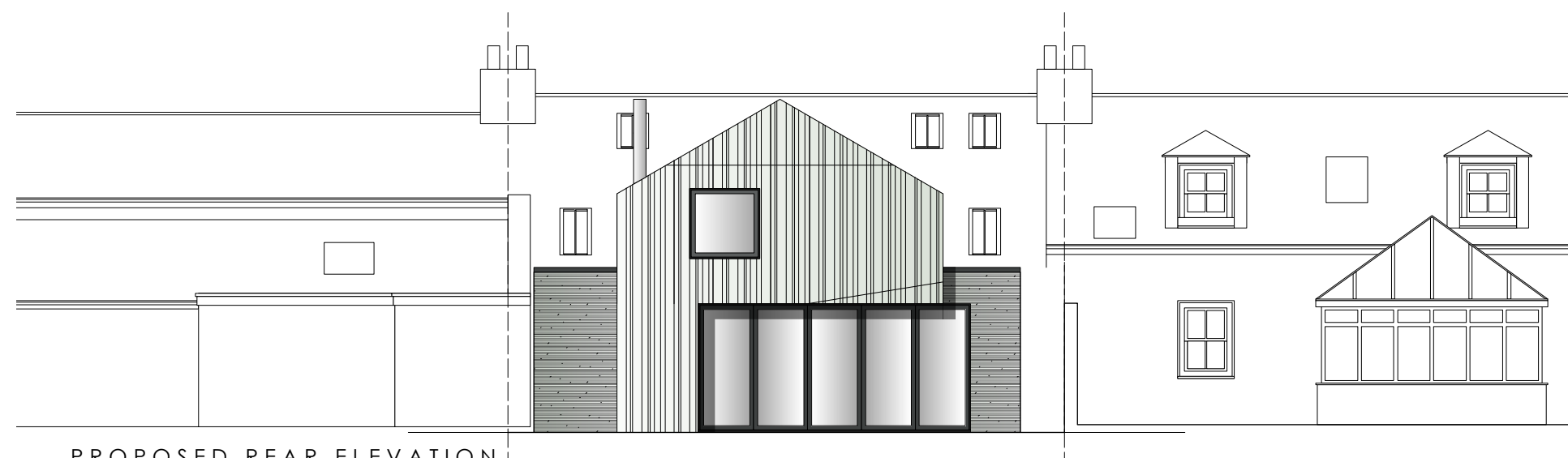
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PROPOSED FRONT ELEVATION

0 5 10

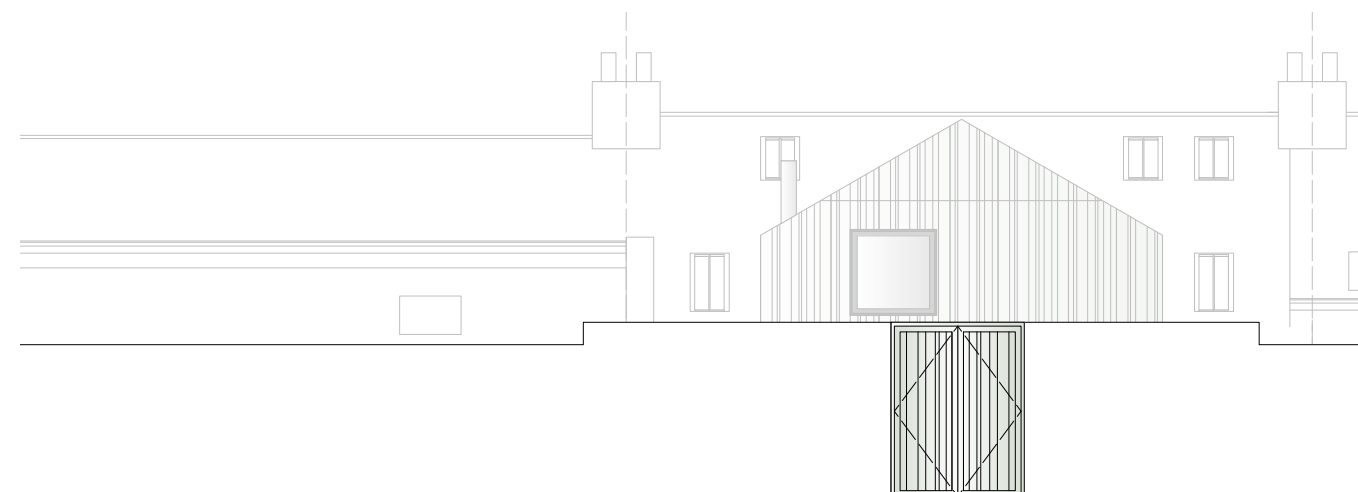
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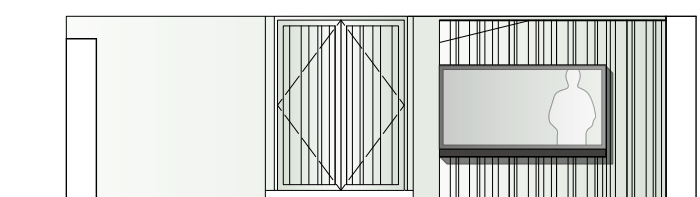
PROPOSED REAR ELEVATION

0 5 10

5
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PROPOSED BACK LANE ELEVATION



PROPOSED GARDEN ELEVATION

DESIGN AND ACCESS STATEMENT PART 5

The existing Scillonian Cottage elements of the property will be sensitively renovated and remain in keeping with the original character of the building.

The existing roof will be thermally upgraded and the existing scantle roof will be re- installed on the fron elevation.

New double glazed 4 panel sash windows will also be installed.

The new rear extension will be modern in contrast.

The ground floor side elements of the extension will be clad in scantle on edge as a means of forming an association with the materiality of the existing roof. It also enables the re-use of existing materials.

The main 2 storey element, including the roof will be clad in varying width strips of western red cedar. This will be detail to include hidden gutters so as to create a recognisable tradition form, i.e, half hipped roof, whilst creating an interpretation that is modern and uncluttered.

RECEIVED

By A King at 2:31 pm, Jul 29, 2021

APPROVED

By Lisa Walton at 11:34 am, Oct 29, 2021

VINE COTTAGE

6 HIGHER STRAND ST MARYS

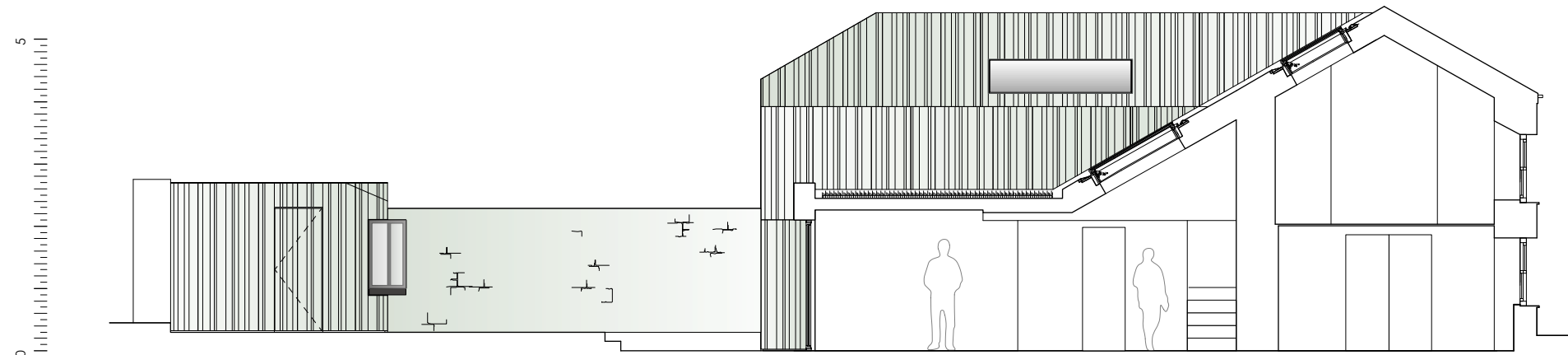
PROPOSED
ELEVATIONS

DRAWING NO. VC08

DATE - JUN 2021

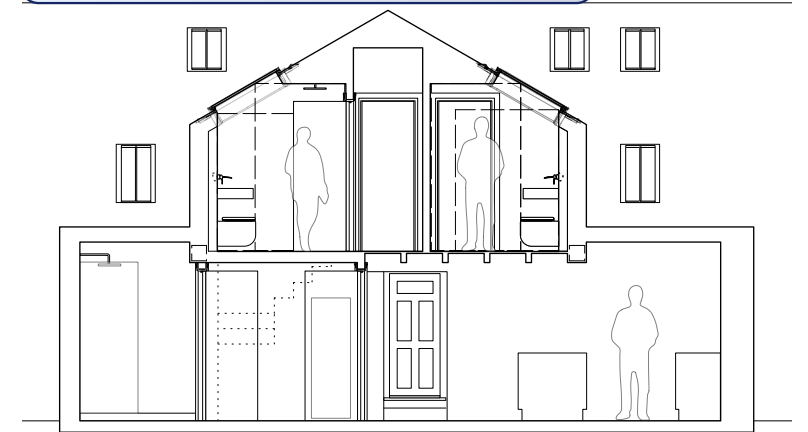
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RECEIVED
By A King at 12:32 pm, Jul 26, 2021



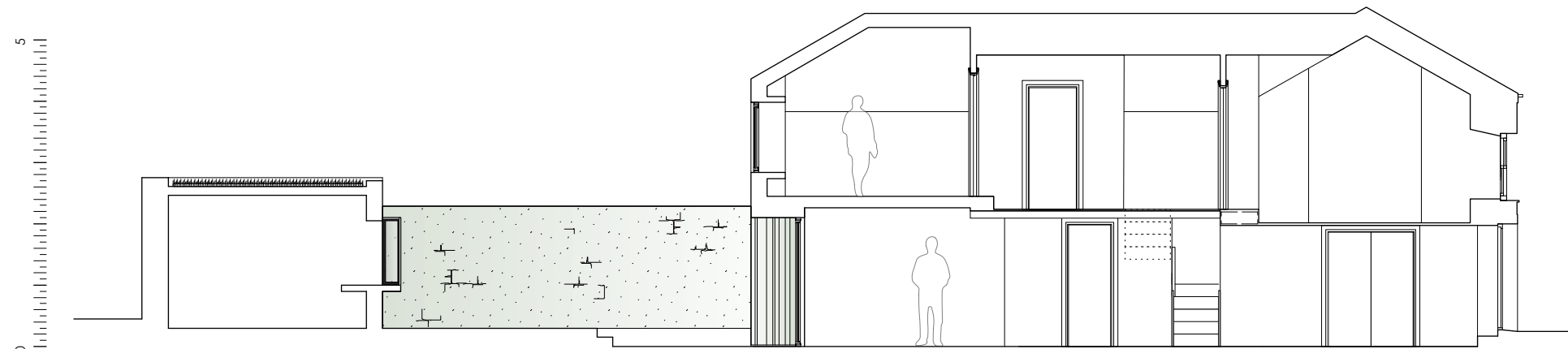
PROPOSED SECTION 1

0 5 10 15 20 SCALE IN METRES



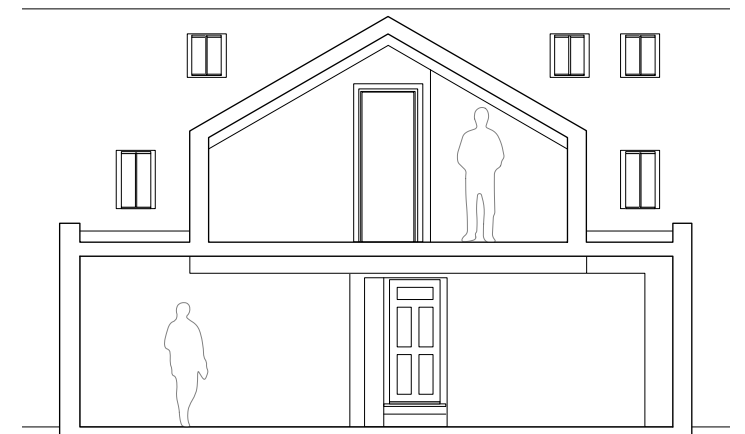
PROPOSED SECTION 4

0 5 10 SCALE IN METRES



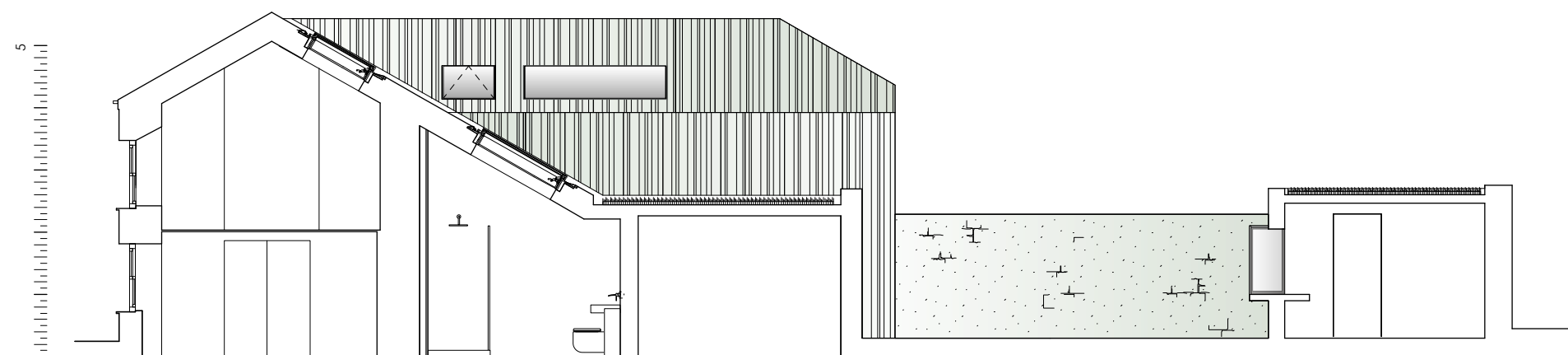
PROPOSED SECTION 2

0 5 10 15 20 SCALE IN METRES



PROPOSED SECTION 5

0 5 10 SCALE IN METRES



PROPOSED SECTION 3

APPROVED
By Lisa Walton at 11:34 am, Oct 29, 2021

VINE COTTAGE
6 HIGHER STRAND ST MARYS

PROPOSED
SECTIONS

DRAWING NO. VC09
DATE - JUN 2021
SCALE - 1:100 @ A3

APPROVED

By Lisa Walton at 11:36 am, Oct 29, 2021

BAT PRESENCE/ABSENCE SURVEY OF:

VINE COTTAGE
6 HIGHER STRAND
ST MARY'S
ISLES OF SCILLY
TR21 0PT

Client: Mr and Mrs Ife

Our reference: BS45-2021PAS

Report date: 14th June 2021

Author: Darren Mason BSc (Hons)

Report peer reviewed: Sarah Mason.

Report signed off: Sarah Mason.

REPORT ISSUED IN ELECTRONIC FORMAT ONLY

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Non-Technical Summary

- On the 2nd of June 2021, the Isles of Scilly Wildlife Trust (IoSWT) conducted a Preliminary Ecological Appraisal (PEA) and Preliminary Roost Assessment (PRA) of Vine Cottage, 6 Higher Strand, St Mary's, Isles of Scilly, TR21 0PT (BS45-2021). These surveys were undertaken to establish baseline conditions, determine the importance of any ecological features within and around the survey areas and to establish the actual or potential use of the building by bats to help inform the determination of a future planning application.
- These surveys concluded that Vine Cottage had low potential to support roosting bats. One presence/absence survey was recommended, and the results of this survey are outlined in the Presence/Absence (PAS) report.
- A dusk emergence survey conducted on 10th of June 2021 did not identify any bats emerging from potential roosting sites associated with the building but did identify a small number of bats commuting in the general area of the development.
- Both the PEA/PRA and PAS reports should be considered together to provide a comprehensive assessment of nature conservation issues at the site.
- The results **confirm the likely absence** of bats using Vine Cottage as a roost
- The recommendations from the PEA/PRA along with this report, suggest **no further surveys and no requirement to obtain an EPS license.**
- To assist the local authority to meet its legal obligation to provide a net gain in biodiversity the installation of a single free-standing bat box at the apex of the gable end of the new south-facing extension, or in-keeping with existing potential roost features install 6 raised roof-tiles on each aspect (west and east) of the new 1st storey extension, in conjunction with Type 2 bitumen roofing felt.

1.0 Introduction

1.1 Background

A Preliminary Roost Assessment report (BS45-2021) dated 2nd of June 2021 identified that the building under consideration provided low roosting potential for bats. An additional presence/absence survey was recommended to meet best practice guidance to support a future planning application decision. This report outlines the results of this additional survey.

1.2 Survey Objectives

The objectives of this Presence and Absence Survey (PAS) report, is to provide further ecological information to support the planning proposal by:

- Ascertaining if roosting bats are present at the application site.
- To identify the location of these bat roosts (including exit/entry points)
- Subjecting this information (and the information from the PEA and PRA) to evaluation and impact assessment
- To provide advice on the potential for contravention of legislation/policy
- To provide recommendations on any further actions needed (i.e., further surveys, licensing, mitigation, or enhancement)

1.3 Surveyor details

The survey was undertaken by Darren Mason BSc of the Isles of Scilly Wildlife Trust and with the assistance of Maria Nolan. Darren has undertaken professional Bat Licence Training and holds a Natural England WML-A34-Level 2 (Class 2 License); registration number: 2020-46278-CLS-CLS which permits him to survey bats using artificial light, endoscopes, hand, and hand-held static nets.

2.0 Methodology

2.1 Bat Dusk emergence survey

The objective of the dusk emergence surveys was to detect active bat use of the site and identify any exit locations being used around the building. Survey effort was concentrated on areas of the site where suitable features or bat field signs were noted from the PRA. The survey involved:

- Starting the survey 15 minutes before sunset and continuing for approximately 1.5-2 hours after¹
- Identification of bat species primarily using ultrasound characteristics. To aid identification flight and habitat characteristics were also noted (where possible) to determine the species.
- Identifying exit locations of bats by standing at different vantage points around the building that offered visual contact with any potential exit point previously recorded. Surveyors stood no more than 50m apart, or away from the building (see Fig 1 for location of surveyors).

2.2 Equipment

The following equipment was used for the dusk emergence survey at the site:

- Anabat Express (Frequency Division) static bat recorder
- Elekon Batscanner Stereo Heterodyne
- Elekon Batscanner Heterodyne

Sound recordings were analysed using Anabat Insight software (version 1.9.2) to confirm surveyors' identification of species.

2.3 Survey Limitations

Surveys carried out during a specific season can only provide information on bat presence at that particular time, as bats are highly mobile in nature and may only use buildings at certain times of the year that favour a particular part of their roosting, maternity, and hibernating requirements.

3.0 Results

3.1 Weather conditions, temperatures, and timings

Survey Information:	Start and End Times:	Conditions (Start):	Conditions (End):
Dusk emergence: 10/6/21	Start: 21:17 Sunset: 21:32 End: 22:43	Temp: 16.5°C Humidity: 83% Wind speed: 16mph – WSW Cloud cover: 100% Rain: none	Temp: 15°C Humidity: 91.5% Wind speed: 16mph – WSW Cloud cover: 100% Rain: none
	Surveyors		
	1. Darren Mason 2. Maria Nolan	Notes: Light Lux 2 was recorded at 22:09 Increased low cloud (mist) was recorded from 22:00 onwards.	

Table 1. Site conditions for the dusk emergence survey 10-6-21



Photo 1. Surveyor location for the dusk emergence survey 10-6-21

3.2 Dusk emergence roost survey results

During the dusk emergence survey no bats were seen exiting or entering the development from those potential roost features identified during the PEA/PRA, or any other area of the building affected by the planning application proposal. All bat activity was confined to commuting behaviour only. All species recorded were Common Pipistrelle (*Pipistrellus pipistrellus*).

In total 5 bat passes were recorded, the first 60 minutes after sunset, a little later than typical temporal parameters of this species^{2,3}. Light lux levels of 2 (typical light levels for sunset) did not occur until 22:09 thirty-seven minutes after official BST sunset. These high light levels may be a result of sunlight being reflected from low cloud cover from midway during the survey. Activity levels overall were deemed low, which may be a result of the changing weather conditions experienced during the survey, with a fog bank forming from 10:00 onwards. There is suggestion that fog may have a direct effect on a bats echo-location⁴ due to increased atmospheric attenuation (the aerosols in the air reducing how far a bat can echolocate ahead)⁵. For all contacts recorded see Appendix A.

3.3 Summary

The result of the dusk emergence survey has confirmed the likely absence of bats at Vine Cottage. However, the results can only be based on presence/absence at a particular time as bats are highly mobile in nature and may use the building at other times of the year. Avoidance measures set out under Section 5 will help to reduce the probability of committing an offence if bats were found during the demolition phase of the proposed works.

4. Evaluation of Results

To identify which ecological features are important and which could potentially be affected by the proposed project, an evaluation of their importance for example, in a geographical context, degree of scarcity or level of protected status needs to be undertaken⁶. The table below outlines those features identified as important, the nature conservation legislation relevant to those features and an assessment of the level of impact from the proposed development on those features.

Ecological Feature	Relevant Legislation	Evaluation (of importance)	Mitigation Hierarchy	Impact Level
Bats	CHSR, W&CA	Local	A, & E	Low
	<p>Impact to roost site: Confirmed likely absence of a bat roost at Vine Cottage suggests that the impact to a roost site at this location is low. However, if a roost were located this would have a negative effect on the population status of Common Pipistrelle bats on the Isles of Scilly. Therefore, consideration and due care must be considered and undertaken at the following stages:</p> <p>Impacts to bats:</p> <p>Demolition: – Undertaking Reasonable Avoidance Measures (RAM) can reduce the likelihood of negatively effecting the local population status and minimise the probability of committing an offence with respect to bats and their roosts if measures are adhered to.</p> <p>Construction: – A positive impact on the local population of Common Pipistrelle bats may result through the incorporation of new roost(s) in the new buildings⁷</p>			
Key to Legislation and Mitigation Hierarchy				
CHSR – Conservation of Habitats and Species Regulations 2017 ⁸ - http://www.legislation.gov.uk/uksi/2017/1012/made W&CA – Wildlife & Countryside Act 1981 (as amended) ⁹ - http://www.legislation.gov.uk/ukpga/1981/69/contents A – Avoid, M – Mitigate, C – Compensate, E – Enhancement				

5. Recommendations and Mitigation

The recommendations in this section are provided as information only and specialist legal advice may be required. If works are delayed for more than one year, then re-assessment may be required.

5.1 Survey constraints

The surveys were undertaken at an appropriate time of year, during the main summer active season.

5.2 Further survey requirements

No further surveys are recommended with regards to the proposed development – it is considered that this report, alongside the PEA/PRA (BS45) constitute a comprehensive ecological baseline from which to assess the impacts of the application.

5.2 EPS Licence requirement

For any development that is likely to commit an offence (or offences) in respect to a European Protected Species (EPS) i.e., bat, or their habitat, a licence will be required. In this instance based on sufficient survey work **no licence is required**. If, in the unlikely event a bat was found during the demolition phase of the project, Reasonable Avoidance Measures (RAM) must be followed and will determine any further action, such as licensing if necessary.

5.4 Planning Recommendation(s)

The information gathered in the PEA/PRA (BS45-2020) and this report is sufficient to support a planning application with regards to protected species in accordance with relevant best practice guidelines.

It is considered that the impacts of the proposed works on protected species can be mitigated sufficiently to ensure that the conservation status of Common Pipistrelle on St Mary's is not negatively impacted. The mitigation outlined in Section 5.5. would represent appropriate measures.

It is recommended that planning permission be granted if compliance with the recommendations in Section 5.5 of this report is conditioned.

5.5 Mitigation Proposals

5.5.1 Avoidance (A) – Bats

As there is a very low risk that bats may roost within the building, prior to demolition, precautions should be taken to reduce the probability of committing an offence. By undertaking Reasonable Avoidance Measures (RAM), if affected RAM should include:

- i. When roofing works are planned these should avoid the main breeding and mating season of *Vespertilionidae* bats, work should typically take place between the 1st November and 1st May inclusive, however the months of **November to February should be avoided where possible** as this is when bats enter a time of reduced activity and torpor which makes disturbance impacts more significant.
- ii. Ensure all workers on site (including sub-contractors) are made familiar with bat legislation and agree to work in accordance with and fully follow best practice measures.
- iii. Carry out prior to demolition careful checks of any cracks/crevices and cavities in or on the building. Signs of usage include bat droppings, dis-colouration or polishing of access points where bats rub against them, urine stains and a lack of cobwebs, particularly if other crevices around them have plenty.
- iv. Individual bats may be found in/under; cladding, between timber boards, between corrugated sheeting, in soffit boxes, behind lead flashing and sometimes just clinging to timber beams around joins as well as other areas. When any of these are removed, please do so carefully, lifting outwardly, and checking for bats continually. If in doubt, consult a licensed bat worker.
- v. Try to minimise any dust generated from demolition works from entering off-site buildings and gardens.
- vi. In the unlikely event that a bat is found please see below:

1. At no point should a worker handle a bat. Untrained handling may cause undue stress and injury to the bat, and if bitten may expose the worker to rabies-related European Bat Lyssavirus
2. Where possible replace any covering without damaging the bat, then halt works and contact **Natural England** (Tel: 0845 601 4523), or the **Bat Conservation Trust Helpline** (0845 1300 228), or **IoSWT** (01720 422153) for advice.
3. Any bats that go to ground should be covered with a box and left alone until a licensed bat worker arrives to assess the condition of the bat.
4. If the bat attempts to fly at any point allow it to do so. Preventing natural behavior will cause unnecessary stress and may cause injury. Attempt to see where bat goes. If the bat returns to the building, halt works and report the escaped bat to the local bat worker.

5.5.2 Enhancement (E) – Bats

The Isles of Scilly have the most southern population of Common Pipistrelle (*Pipistrellus pipistrellus*) bats in the United Kingdom. The islands also hold small populations of Soprano Pipistrelle (*Pipistrellus pygmaeus*) and Brown Long-eared Bat (*Plecotus auritus*) both UK Biodiversity Action Plan (BAP) priority species and holds records for the rare Nathusius Pipistrelle (*Pipistrellus nathusii*). Any loss of roosting, commuting or foraging sites could have a detrimental effect on these species distributions as a whole and cause a net loss in biodiversity on the islands.

Each local planning authority in England and Wales has a statutory obligation under Part 3 Section 40 of the Natural Environment & Rural Communities Act 2006¹⁰ (NERC 2006) to have due regard for biodiversity when carrying out their functions and under Section 15 paragraph 170(d) of the NPPF 2019¹¹, all planning policies and decisions shall contribute to and enhance the natural and local environment by providing net gains in biodiversity. **Therefore, to assist in meeting these obligations the following suggestion should be undertaken:**

- i. Erect one free-standing 'Kent' style bat box developed for crevice-dwelling species (see Appendix B for supplier details) at the apex of the gable of one of the south-facing rear extension. Erect as high as possible, but below the level of the fascia. See Appendix B for supplier details.
- ii. Alternatively, in keeping with the existing potential roost features identified from the PRA select 6 tiles on each roof aspect (west/east) on the new extension and raise their leading edge by 25mm (using mortar to create a wedge-shaped crevice that provides access to the underlying felt. Ensure that all new roofing felt laid is Type 2 bitumen felt, as modern breathable membranes have been shown to kill bats¹².

6. Bibliography

1. Collins, J. (ed.) (2016). Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edition). The Bat Conservation Trust
2. Rydell, J. et al. (1996). Timing of Foraging Flights of Three Species of Bats in Relation to Insect Activity and Predation Risk. *Oikos*. Vol 76. No.2. p243-252
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6. CIEEM. (2016). Guidelines for Ecological Impact Assessment in the UK and Ireland: Terrestrial, Freshwater and Coastal (2nd edition). Chartered Institute of Ecology and Environmental Management, Winchester.
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8. H.M.S.O. (2017). *The Conservation of Habitats and Species Regulations*. London.
9. H.M.S.O. (1981). *The Wildlife and Countryside Act 1981* (as amended). London.
10. H.M.S.O. (2006). *The Natural Environment and Rural Communities Act 2006*. London
11. Ministry of Housing, Communities & Local Government. (2019). National Planning Policy Framework. OGL

APPENDIX A – BAT CONTACTS SURVEY TABLE

Date:	11/5/21 – Dusk emergence survey			
Survey Type:	Surveyor 1	Surveyor 2	Surveyor 3	Night vision camera
Location:	Unseen, S to N, unseen, unseen and unseen (fb)	Unseen, unseen, unseen, unseen and unseen		
Exit/Entry point:	None located	None located		
Time(s):	22:17; 22:27; 22:28; 22:37 and 22:42	22:17; 22:27; 22:28; 22:37 and 22:42		
Species of bat:	Common Pipistrelle	Common Pipistrelle		
Roost present:	None confirmed	None confirmed		

(fb) – feeding buzz

APPENDIX B – SUPPLIERS

1. Natural History Book Service
1-6 The Stables
Ford Road
Totnes
Devon, TQ9 5LE
Tel: 01803 865913
Email: customer.services@nhbs.com
Website: <https://www.nhbs.com/>
2. Habibat
Tel: 01642 724626
Email: <http://www.habibat.co.uk/contact>
Website: www.habibat.co.uk
3. Dreadnought Tiles
Dreadnought Works
Brierley Hilly
West Midlands, DY5 4TH
Tel: 01384 77405
Email: sales@dreadnought-tiles.co.uk
Website: www.dreadnought-tiles.co.uk
4. Wildlife & Countryside Services
Covert Cottage
Pentre Lane
Rhuddlan
North Wales, LL18 6LA
Tel: 0333 9000927
Email: support@wildlifeservices.co.uk
Website: www.wildlifeservices.co.uk
5. Wildcare
Eastgate House
Moreton Road
Longborough
Gloucestershire, GL56 0QJ
Tel: 01451 833181
Email: sales@wildcare.co.uk
Website: www.wildcare.co.uk