

Council of the Isles of Scilly

Delegated Planning Report

Householder application

Application Number: P/21/059/HH

Received on: 26 July 2021

UPRN: 000192001069

Application Expiry date: 24 September 2021

Neighbour expiry date: 23 August 2021

Consultation expiry date: 23 August 2021

Site notice posted: 2 August 2021

Site notice expiry: 23 August 2021

Applicant: Robert & Ulrica Ife

Site Address: Vine Cottage
6 Higher Strand
Hugh Town
St Mary's
Isles of Scilly
TR21 0PT

Proposal: Two storey rear extension and additional bedroom (Listed Building).

Application Type: Householder

Recommendation: PERMIT

Summary Conditions:

1. Standard time limit (3 years)
2. In accordance with the approved plans
3. SWMP
4. Hours of Construction
5. Building Recording Condition by WSI
6. No external illumination
7. No other extensions
8. Installation of a bat box
9. Samples of external surfaces
10. Scantle roof details
11. Set back doors and windows
12. Sample/spec of Lime Mortar
13. Joinery Details
14. Ancillary use of workspace shed

Reason for Delegated Decision

No Councillor has requested that the application come to the Full Council. The decision defaults to the level of Delegated:

- Not a Councillor ✓
- Not a Senior Officer (or Officer with influence over planning Decisions) ✓
- No relation to a Councillor/Officer ✓
- Not Major ✓
- Not Council's own application ✓
- Not a departure from the Development Plan ✓
- Not Called in ✓

Lead Member Planning Agreed

Name: Cllr Dan Marcus

Date: 20/10/2021

Site Description and Proposed Development

Vine Cottage is a grade II listed mid-terrace single dwelling. It is a small two storey cottage, with C20 doors and windows with a modern single storey extension to the rear. The property joins the back edge of the pavement (so no front garden) and has a modest private rear garden to the south side.

The proposal is a household application and listed building consent to demolish the rear extension and replace with a two storey extension with internal reconfiguration of the space and removal of the cement pointing to the front stone work and replace this with an eminently hydraulic lime mortar, to counter the sea spray whilst allowing the granite to breath.

Certificate:A

Consultations and Publicity

The application has had a site notice on display for 21 days (02/08/2021–23/08/2021). The application appeared on the weekly list on 5th October 2020. Due to the nature of the proposal an external consultation has been made with Cornwall Archaeological Unit. The response is summarized below.

Consultee	Date Responded	Comments
CAU	24/09/2021	<p>The CSUS report for Hugh Town notes the solid and robustly built character of the row of terraced houses on Higher Strand, fronting the sea, and potentially developed in association with the shipbuilding industry which thrived on Town beach in the 19th century (Kirkham 2003).</p> <p>The submitted documents and photographs</p>

		<p>from an additional site visit (September 2021) note the remains of smaller trusses within the roof space which preserve an earlier roofline. A brief analysis of these from the submitted information suggests that they are sawn timbers and that the earlier roofline had a low pitch.</p> <p>We also note that it is proposed to change the internal rearrangement of the ground floor and first floor rooms and to move the staircase, resulting in the alteration of the flow of the building.</p> <p>We therefore consider it prudent that an historic building record should be carried out before the alterations and works take place, undertaken by a suitably qualified organisation or individual. Historic building recording should be rapid (but undertaken for the whole building) to Level 2 as defined by Historic England's (2016) guidance – 'Understanding Historic Buildings - A Guide to Good Recording Practice'. Recording should include a rapid descriptive analysis, digital archive-quality photography combined with brief documentary research.</p>
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Representations from Residents:

Neighbouring properties written to directly:

- Rose Cottage, 4-5 Higher Strand
- 7 Higher Strand

[1] letters of objection have been received

[0] letters of support have been received

[0] letters of representation have been received.

One letter has been received from the neighbouring property, this raises concerns about the impact of the proposed rear extension, particularly in terms of privacy and through a dominating impact. There is a concern that they have no way of checking whether the sunpaths shown are accurate. Finally concerns are raised that the design of the rear extension is not in keeping with the traditional Scillonian fisherman's cottage. They request, that if the permission is granted the hours of construction are limited to not commencing before 09:30am and not continuing after 4pm in order to minimise disruption.

Relevant Planning History:

No planning history relevant under the adopted or previous 2005 Local Plan

Constraints:

Listed Building: Grade II (Listing includes Numbers 1-10 Higher Strand)

The property is listed for its group value and was added to the National Heritage List for England (NHLE) in 1975 (updated in 1992). It is described as:

Terrace of 10 cottages. Early/mid C19. Coursed granite rubble; gabled slate roof, slurried except to No 1; granite ridge and end stacks. Double-depth plan. Two storeys. Symmetrical 3-window range to Nos 1 and 2, 5, 6 and 7, all with central entrances; 2-window range to No 3 and 1-window range to No 4, each with left-hand entry; Nos 8-10, which are taller and later, share a 3-window first-floor range. All have granite lintels over C20 doors and late C19/C20 horned 2/2-pane sashes, except late C19 four-panelled door with glazed top light to No 3, mid C19 four-panelled door to No 6. Interiors not inspected but noted as having moulded joists.

Historic Landscape Character type: Settlement

Scheduled Monuments: No

HERs: None

Planning Assessment

Design	YES OR NO
Would the proposal maintain the character and qualities of the area in which it is proposed?	y
Would the proposal appear in-keeping with the appearance of the existing dwelling, street and area?	y
Would the materials, details and features match the existing dwelling and be consistent with the general use of materials in the area?	y
Would the proposal leave adequate garden area and green space to prevent the proposal appearing as an overdevelopment of the site and to ensure an adequate level of amenity?	y
Is the parking and turning provision on site acceptable?	y
Would the proposal generally appear to be secondary or subservient to the main building?	y
Is the scale proposed in accordance with NDSS	Y

	Floors	Bedrooms	GIF	NDSS Min (the range relates to the number of potential permanent	Within Policy Min/30% above Max
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				occupants.	
Existing	2	3	88m ²	102 m ²	- 13%
Proposed	2	4	142m ²	124 m ²	+14%

The extension results in a size of property that is within the 30% above the GIF standards as set out in Policy LC8.

Amenity	YES OR NO
Is the proposal acceptable with regard to any significant overlooking/loss of privacy issues?	y
Has the proposal been designed to respect the amenities of neighbouring properties avoiding unreasonable loss of light or an overbearing impact?	y
Is the proposal acceptable with regard to any significant change or intensification of use?	y

Heritage	YES OR NO
Would the proposal sustain or enhance the character and appearance of the Conservation Area?	y
If within the setting of, or a listed building, a) Will the development preserve the character and special architectural or historic interest of the building? b) Will the development preserve the setting of the building?	y
Within an Archaeological Constraint Area	n
Other Impacts Does the proposal comply with Highways standing advice such that it does not adversely affect highway safety?	n/a
Impact on protected trees Will this be acceptable Can impact be properly mitigated?	n/a
Has the proposal been designed to prevent the loss of any significant wildlife habitats or proposes appropriate mitigation where this has been demonstrated to be unavoidable?	y
Does the proposal conserve and enhance the landscape and scenic beauty of the AONB	y
Are the Water connection/foul or surface water drainage details acceptable?	n/a
If sited within a Critical Flood Risk Area (low lying land below the 5m datum) is the application accompanied by an acceptable Flood Risk Assessment?	n/a

Are there external lights	n
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Protected Species	YES OR NO
Does the proposal include any re-roofing works or other alteration to the roof	y
Does the proposal include any demolition	y
Does the proposal include tree or hedge removal	n
Is an assessment of impact on protected species required	y
Has an assessment been provided that adequately assesses the site and includes mitigation, enhancement and timing requirements	y
Are biodiversity enhancement measures required	y
Is a condition required to provide biodiversity enhancement measures	y

Waste Management	YES OR NO
Does the proposal generate construction waste	Y
Does the proposal materially increase the use of the site to require additional long-term waste management facilities	N
Does the proposal include a Site Waste Management Plan	N
Is a condition required to secure a Site Waste Management Plan	Y

Sustainable Design	YES OR NO
Does the proposal materially increase the use of the site to require additional sustainable design measures	N
Does the proposal include any site specific sustainable design measures	Y
Is a condition required to secure a Sustainable Design Measures	N

Conclusion: In terms of the impact upon neighbouring property, then it is noted that the neighbour at number 7 Higher Strand is concerned about the impact upon their property. Number 7 is situated to the north east side of the application site. The impact upon light levels could be a factor only into the late afternoon (in summer) and there would be no impact in terms of sunlight for most of the day. The extension proposed is two storey, but it is set-in from the boundary with a first floor window, facing towards this neighbour, at a high level position only, serving a bathroom space. There is therefore no overlooking from main habitable room windows. Taking a mid-point from the neighbours first floor dormer window, closest to the boundary, then its noted that a line drawn from this, at a 45 degree angle, will not be restricted by the two storey element of the

proposed extension, which is set out in the Design Guide as a measure of whether a proposed extension is likely to affect the outlook for an existing neighbouring property. It is considered that the proposed extension will not significantly impact upon the privacy or amenity of the neighbouring properties.

In the garden there is an ancillary out-building identified as a workspace/shed, this is constructed into the boundary walls to the south and west. This will have a sedum room and will not be any higher than the existing boundary wall. A window is proposed to face back towards the house and a door facing east.

A standard condition is recommended to ensure that noise, associated with the construction, is limited, and whilst it is not deemed reasonable to restrict these times to those requested by the neighbour, the applicant has been made aware of this request. The standard times would ensure no machinery is used before 8am or after 6pm (and not at all on Sundays or Public Holidays). There are no exceptional reasons put forward as to why the working hour restrictions should be limited to 09:30am to 4pm, when the relationship is the same for other examples of where planning permission has been granted.

Impact upon the Listed building

The proposal makes a number of significant changes to this property including a removal of the scandle tiles (which are proposed to be replaced), replacement of windows with timber sash windows (with double glazed units) on the front, removal of an existing flat roof rear extension and its replacement with a larger two storey extension. This includes a wider (boundary to boundary) single storey element, and a centrally (narrower) two storey element, with a pitched roof running centrally up to the main ridge line of the main roof, with a hip on the south gable elevation. It is proposed to rake out the cement pointing and replace this with a lime mortar, to improve the breathability of the structure.

Internally, it is proposed to reconfigure the internal space on the basis of the existing small rooms/layout. The internal space will be modernized to form a fourth bedroom/study and south facing open-plan living and dining room space. Upper floor rooms are to have ceilings removed to expose the vaulted ceiling. The roof will be insulated and a number of roof lights will be installed to provide south facing sunlight.

The internal ground floor layout proposed will see the existing narrow stairs replaced with a half-turn stairway moved into the rear of the property.

Hugh Town has a unique character and distinctive identity, derived from its islands position and shape, and how inhabitants on the islands have adapted and changed to utilise the available resources to create and defend settlements. It is from this continuous development that the significance of the islands manifests, and can be understood, through the landscape and buildings. The significance of

numbers 1-10 Higher Strand is found in its form which is referenced in the Hugh Town Urban Survey report of 2004. This reports a number of changes in this area in the early 19th century through the islands proprietor Augustus Smith. It notes the present Lower and Higher strand being lined by a row of small houses extending almost to Carn Thomas with the beach in front which are generally 'enlivened' by the presence of boats and vessels of various sizes. It notes "the severe, well-constructed terraces of single and double fronted dwellings". These designs stem from the prosperous industrial character of these areas in the middle decades of the 19th century and are largely as a result of the influence of Augustus Smith who had aspirations for the prosperity of the islands.

Higher Strand terrace retains an important frontage within Hugh Town and represents the prosperous 19th century homes, with adjoining gardens, well-related to the main 19th century development of the town and its strategic positioning fronting the harbour. The form and materials of the traditional two storey largely granite houses, with a double frontage, and centrally positioned door, set back from the shoreline, but fronting on to the road would suggest the principal elevations remain the primary significant element of this listed row. Significance is present in the setting of the Strand, which retains a prominent and characteristic row of granite terraced houses, facing into the Harbour, through the form of the bay, extending from almost Carn Thomas to the north east down towards the Parade to the south west. This significance can be perceived from the surrounding landscape, which includes views to and from the Quay.

Alterations to the roof have clearly taken place at some point during the 20th century, due to the record of the earlier roof trusses revealing an earlier and shallower pitched roof, and is likely to have been required due to the exposed location of the properties, being at the brunt of any prevailing winds. It is considered, regardless of this later change, that the two storey simple cottages, of which the application site is a key part of, make a good contribution to the character and appearance of the Conservation Area through their exterior form which retains special character. There are a number of modern exterior changes, such as cement pointing and some modern C20 doors and windows but overall, the elevations retain a traditional appearance.

It is considered that the materials of the external appearance proposed for the rear, replacing the scantle roof, and using a sympathetic timber finish on the extension with timber windows, will result in a positive improvement. Work to the rear of the property will not have any impact upon the important principal elevation, although it is noted that the larger extension, altering the original simple roof form and fenestration configuration, will result in some harm, this is considered to be less than substantial on the basis that it relates to the rear of the property, where there has been a number of later changes, which have not been especially sympathetic. It is also noted that the roof has been substantially altered from the original roof. The proposal will create a unifying rear

arrangement, that will result in a clearly modern extension, using modern design but in traditional materials. On the front, traditional sash windows will be replaced with a traditional sash windows, with doubled glazing, on the basis of the exposed sea-front location, and it is considered that the joinery details should be conditioned. The front granite wall will be repointed and cement strap pointing removed. Again it is recommended that the specification of a lime mortar replacement is approved before any raking out takes place. Subject to this it is considered that this will have an aesthetic and positive benefit for the original stonework.

On the basis that there is no description of the original internal layout and there are likely to have been numerous changes over time, the internal changes proposed are viewed as likely to have a less than substantial harmful impact. However, Cornwall Archaeological Unit, have suggested the work could adversely impact upon the significance of this row of heritage assets, particularly through the unrecorded loss of a potentially original layout. On this basis it is considered that such loss could be partially mitigated through rapid building recording, prior to the works being carried out. This is a recommended pre-commencement condition. This will ensure that any important features of the building are recorded and anything that can be preserved or highlighted can then be incorporated into the detail of the new layout. There are clear sustainability benefits to providing a home that benefits from improved insulation and solar gain, achieved through proposal, which will be beneficial to the islands carbon reductions. This is considered an important benefit that outweighs the less than substantial harm identified. In terms of direct impact upon this designation, the proposal, through it's careful design, improved sustainability and building recording, would accord with the requirements of Policy OE7 of the Local Plan.

EIA: Due to the scale, nature and location this development will not have significant effects on the environment and therefore is not considered to be EIA development.

Proactive working: In accordance with guidance within the National Planning Policy Framework the Council has worked in a positive and creative way and has concluded that the application is acceptable for planning permission to be granted. This application has been considered in accordance with Section 38 of the Planning & Compulsory Purchase Act 2004.

Planning Policy: Section 70 of the 1990 Town and Country Planning Act requires that regard be had to the development plan, any local finance and any other material considerations. Section 38(6) of the 2004 Planning and Compensation Act requires that applications are to be determined in accordance with the development plan unless material considerations indicate otherwise. For the purposes of decision making, as of March 2021, the development plan for the Isles of Scilly comprises the Isles of Scilly Local Plan 2015-2030.

The relevant development plan policies that have been taken into consideration are set out below:

Isles of Scilly Local Plan, 2015-2030

Policy	Tick if Used ✓
Policy SS1 Principles of Sustainable Development	✓
Policy SS2 Sustainable quality design and place-making	✓
Policy SS3 Re-use of Buildings	
Policy SS4 Protection of retailing, recreation and community facilities	
Policy SS5 Physical Infrastructure	
Policy SS6 Water and Wastewater Management	
Policy SS7 Flood Avoidance and Coastal Erosion	
Policy SS8 Renewable Energy Developments	
Policy SS9 Travel and Transport	
Policy SS10 Managing Movement	
Policy OE1 Protecting and Enhancing the landscape and seascape	
Policy OE2 Biodiversity and Geodiversity	✓
Policy OE3 Managing Pollution	
<i>Policy OE4 Protecting Scilly's Dark Night Skies</i>	✓
Policy OE5 Managing Waste	
Policy OE6 Minerals	
Policy OE7 Development affecting heritage	✓
Policy LC1 Isles of Scilly Housing Strategy to 2030	
Policy LC2 Qualifying for Affordable Housing	
Policy LC3 Balanced Housing Stock	
Policy LC4 Staff Accommodation	
Policy LC5 Removal of Occupancy Conditions	
Policy LC6 Housing Allocations	
Policy LC7 Windfall Housing:	
Policy LC8 Replacement Dwellings and Residential Extensions	✓
Policy LC9 Homes in Multiple Occupation	
Policy WC1 General Employment Policy	
Policy WC2 Home based businesses	
Policy WC3 New Employment Development	
Policy WC4 Alternative Uses for Business/Industrial land and buildings	
Policy WC5 Safeguarding Serviced Accommodation	

Info Requirements	Submitted (LVC)	Not Submitted	Condition Required
Site Waste Management Plan	No		Yes
Sustainable Design Measures	Yes		No
Biodiversity Enhancement Measures:	Yes		Yes

Other material considerations include the policies of the National Planning Policy Framework (NPPF) and guidance in Planning Practice Guidance (PPG).

Considerations under Human Rights Act 1998 and Equalities Act 2010

The provisions of the Human Rights Act 1998 and Equalities Act 2010 have been taken into account in reaching the recommendation contained in this report.

Recommended Conditions Householder Application: P/21/059/HH

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**

- **Location Plan, Block Plan and Heritage Impact Statement, Drawing Number: VC01, dated June 2021**
- **Existing Floor Plans and Design and Access Statement Pt1, Drawing Number: VC02, dated June 2021**
- **Existing Roof Plans and Design and Access Statement Pt2, Drawing Number: VC03, dated June 2021**
- **Proposed Floor Plans and Design and Access Statement Pt3, Drawing Number: VC06, dated June 2021**
- **Proposed Floor Plans and Design and Access Statement Pt4, Drawing Number: VC07, dated June 2021 (Sustainability and Biodiversity)**
- **Proposed Elevations and Design and Access Statement Pt5, Drawing Number: VC08, dated June 2021**
- **Proposed Sections, Drawing Number: VC09, dated June 2021**
- **BAT Presence/Absence Survey Report, Ref: BS45-2021PAS, dated 14/06/2021 (avoidance, mitigation and enhancement)**

These are stamped as APPROVED.

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and Policy OE7(5) of the Isles of Scilly Local Plan (2015-2030).

- C3 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, in accordance with the waste hierarchy, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.**

Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application, but are required to ensure the unnecessary production of waste is minimised and waste is recycled, reused or disposed of appropriately. In accordance with Policy SS2(2) and OE5(2) of the Isles of Scilly Local Plan 2015-2030.

- C4 All works involving machinery required in connection with the implementation of this permission shall be restricted to between 0800 and 1800 hours Monday to Saturdays. There shall be no works involving machinery on a Sunday or Public or Bank Holiday.**

Reason: In the interests of protecting the residential amenities of neighbouring properties.

- C5 A) No alterations shall take place until a programme of historic building recording work including a Written Scheme of Investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions, and:**

- 1. The programme and methodology of site investigation and recording**

2. The programme for post investigation assessment
3. Provision to be made for analysis of the site investigation and recording
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation
6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation

B) No alterations shall take place other than in accordance with the Written Scheme of Investigation approved under condition (A).

C) The historic building recording condition will normally only be discharged when all elements of the WSI including on site works, analysis, report, publication (where applicable) and archive work has been completed.

Reason: A pre-commencement condition is necessary in this instance due to the need to ensure that a programme and methodology of historic building recording is undertaken before physical works commence on site. This is in accordance with the provisions of NPPF (2021) Chapter 16, paragraph 205 and Policy OE7(6) of the Isles of Scilly Local Plan (2015-2030).

- C6 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no further extensions, other than those hereby permitted shall be erected and no additional windows or other openings shall be installed within the building without the prior permission, in writing, of the Local Planning Authority.**

Reason: In the interests of the privacy and amenity of adjoining property and the wider character of the Conservation Area in accordance with Policies LC8 and OE7 of the Isles of Scilly Local Plan (2015 – 2030).

- C7 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any external lighting shall be submitted to and approved, in writing, by the Local Planning Authority. The lighting shall thereafter be installed in accordance with the agreed details.**

Reason: To protect the amenities of the locality, including those of neighbouring residential properties and to protect this rural area and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

- C8 Prior to the first breeding/nesting season following completion of the development, hereby approved, the applicant shall erect one free-standing ‘Kent’ style bat box, developed for crevice-dwelling species, at the apex of the gable of the south-facing rear extension. This should be placed as high as possible, but below the level of the fascia. This shall be retained as such thereafter.**

Reason: To promote measures to improve and awareness of the value of biodiversity on the Isles of Scilly and in accordance with the requirements of Policies SS1(d) and SS2(g) of the Isles of Scilly Local Plan (2015-2030). There is a requirement for planning policies and decisions to contribute to and enhance the natural and local environment by providing net gains in biodiversity, as required under Part 3 Section 40 of the Natural Environment & Rural Communities Act 2006 (NERC 2006) and to have due regard for biodiversity under Section 15 paragraph 170(d) of the National Planning Policy Framework 2019 (NPPF 2019).

- C9 Prior to the installation of any external surface material, precise details, to include samples, of the materials to be used in the construction of the external surfaces of the development hereby permitted shall be submitted to, and approved in writing by the Local**

Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030)

- C10 For the existing scantle roof, all the existing slate shall be set aside for re-use. Any shortfall shall be made up of natural slates to exactly match the existing in shape, size, colour and texture. All fixings shall be corrosion resistant. Before re-roofing starts, samples of any additional slates and fixings required shall be made available for inspection on site, and subsequent written approval, by the Local Planning Authority. The approved slates and fixings shall then be used to roof the approved building/structure. The roof shall be retained as such thereafter.**

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C11 On the front elevation windows and doors shall be set back from the outer face of the stonework, to a position that is, at minimum, the same as the position of the original windows and shall be constructed in painted timber and retained as such thereafter.**

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C12 For the repointing of the existing building, before any raking out of the cement mortar commences, details of the mortar mix to be used for repointing shall be submitted to and approved in writing by the Local Planning Authority. The mortar used shall be a lime mortar and the pointing shall be brushed back from the surface of the stonework. A 1m² sample panel of pointing is to be made available on site for approval in writing by the Local Planning Authority prior to the commencement of works. The approved sample panel shall be retained on site for the duration of the works.**

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C13 Before removing existing windows, large scale drawings to a minimum scale of 1:20 of the external joinery, including sections, the precise construction and method of opening and cill and lintel details as well as thickness or glazing, shall be submitted to and approved in writing by the Local Planning Authority. The joinery shall then be constructed in accordance with the agreed details and be retained as such thereafter.**

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C14 The ancillary workspace/shed, hereby approved, shall be restricted to ancillary use only associated with the occupation of Vine Cottage, number 6 Higher Strand.**

Reason: In the interests of the privacy and amenity of adjoining property in accordance with Policies LC8 of the Isles of Scilly Local Plan (2015 – 2030).

Recommended Conditions Listed Building Consent Application: P/21/060/LBC

- C1 The development hereby authorised shall be begun not later than three years from the date of this consent.**

Reason: In accordance with the requirements of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

- C2 A) No alterations shall take place until a programme of historic building recording work including a Written Scheme of Investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of**

significance and research questions, and:

7. The programme and methodology of site investigation and recording
8. The programme for post investigation assessment
9. Provision to be made for analysis of the site investigation and recording
10. Provision to be made for publication and dissemination of the analysis and records of the site investigation
11. Provision to be made for archive deposition of the analysis and records of the site investigation
12. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation

B) No alterations shall take place other than in accordance with the Written Scheme of Investigation approved under condition (A).

C) The historic building recording condition will normally only be discharged when all elements of the WSI including on site works, analysis, report, publication (where applicable) and archive work has been completed.

Reason: A pre-commencement condition is necessary in this instance due to the need to ensure that a programme and methodology of historic building recording is undertaken before physical works commence on site. This is in accordance with the provisions of NPPF (2021) Chapter 16, paragraph 205 and Policy OE7(6) of the Isles of Scilly Local Plan (2015-2030).

- C3 Prior to the installation of any external surface material, precise details, to include samples, of the materials to be used in the construction of the external surfaces of the development hereby permitted shall be submitted to, and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.**

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030)

- C4 For the existing scantle roof, all the existing slate shall be set aside for re-use. Any shortfall shall be made up of natural slates to exactly match the existing in shape, size, colour and texture. All fixings shall be corrosion resistant. Before re-roofing starts, samples of any additional slates and fixings required shall be made available for inspection on site, and subsequent written approval, by the Local Planning Authority. The approved slates and fixings shall then be used to roof the approved building/structure. The roof shall be retained as such thereafter.**

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C5 On the front elevation windows and doors shall be set back from the outer face of the stonework, to a position that is, at minimum, the same as the position of the original windows and shall be constructed in painted timber and retained as such thereafter.**

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C6 For the repointing of the existing building, before any raking out of the cement mortar commences, details of the mortar mix to be used for repointing shall be submitted to and approved in writing by the Local Planning Authority. The mortar used shall be a lime mortar and the pointing shall be brushed back from the surface of the stonework. A 1m² sample panel of pointing is to be made available on site for approval in writing by the Local Planning Authority prior to the commencement of works. The approved sample panel shall be retained on site for the duration of the works.**

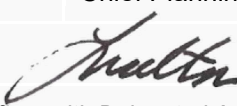
Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C7 Before removing existing windows, large scale drawings to a minimum scale of 1:20 of the external joinery, including sections, the precise construction and method of opening and cill and lintel details as well as thickness or glazing, shall be submitted to and approved in writing by the Local Planning Authority. The joinery shall then be constructed in accordance with the agreed details and be retained as such thereafter.**

Reason: To preserve and enhance the character and appearance of the Listed Building and Conservation Area. In accordance with policy OE7 of the Isles of Scilly Local Plan (2015-2030).

Further Information

1. **STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2019.
2. **BUILDING CONTROL:** Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project: buildingcontrol@cornwall.gov.uk
3. **DISCHARGE OF CONDITIONS:** In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. Currently, for a full application, the fee is £234 but any fee increase would need to be applied should the national fees increase). The fee is payable for each individual request to discharge condition(s). Please check the latest fee schedule before you apply here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
4. **NON-MATERIAL AMENDMENTS:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment (currently the fee is for this is £234 but any fee increase would need to be applied should the national fees increase) or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed amendments with the Planning Officer. Please check the latest fee schedule before you apply here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
5. **DISCOVERY OF BATS/PROTECTED SPECIES:** The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.
6. **PARTY WALL ISSUES:** As the proposed works affect the boundary with a neighbouring property, this decision does not convey any other form of consent or agreement that may be necessary in conjunction with these works and does not override or supersede any civil rights, which the neighbour may have. The attention of the applicant is drawn to the information contained in the Party Wall etc. Act 1996.

Print Name:	Lisa Walton	29/10/2021
Job Title:	Chief Planning Officer	
Signed:		
Authorised Officer with Delegated Authority to determine Planning Applications		