



COUNCIL OF THE ISLES OF SCILLY

Town Hall, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2010

PERMISSION FOR DEVELOPMENT

Application No:	P/21/064/HH	Date Application Registered:	16th August 2021
Applicant:	Mr Nicholas Bright Green Pastures Mcfarland's Down St Mary's Isles of Scilly TR21 0NS	Agent:	Mr J Groux Suite 43-45 Airport House Purley Way Croydon CR0 0XZ
Site address:	Green Pastures Mcfarland's Down St Mary's Isles of Scilly TR21 0NS		
Proposal:	Demolition of small external store and erection of single storey extension to accommodate one bedroom, one shower room and storage facilities specifically for the use of a wheelchair bound person (Amended Plans).		

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- **Plan 1 Location Plan**
 - **Plan 2 AMENDED Proposed Floor Plans, drawing number 1003, dated November 2021**
 - **Plan 3 AMENDED Proposed North and South Elevations, drawing number 1005, dated November 2021**
 - **Plan 4 AMENDED Proposed West Elevation, drawing number 1004 dated October 2021**
 - **Plan 5 AMENDED Proposed West Elevation and Floor Plan, dated November 2021**
 - **Plan 6 Bat Survey PRA, Ref: 2021/02 dated 27th August 2021**
- These are stamped as APPROVED**
Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).
- C3 The annexe accommodation, hereby permitted, shall not be occupied at any time other than for purposes ancillary to the residential use of the dwelling known as Green Pastures and shall not be severed from the main house as a separate dwelling.**
Reason: The creation of an additional independent residential unit on the site, that is not for local need, would be contrary to Policies LC1 and LC2 of the Isles of Scilly Local Plan (2015-2030).

PRE-USE CONDITION: Installation of biodiversity enhancement measures

- C4** Prior to the first use of the annexe accommodation, hereby approved, the bat boxes and bird nesting boxes, as set out in the Ecological Assessment (page 4) Ref: 2021/02, dated 27th August 2021, shall be installed as recommended and be retained as such thereafter.
Reason: In the interests of securing appropriate and proportionate biodiversity net gains at this site in accordance with Policy OE2, SS1(d) and SS2(g) of the Isles of Scilly Local Plan (2015-2030).
- C5** Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any external lighting shall be submitted to and approved, in writing, by the Local Planning Authority. The lighting shall thereafter be installed in accordance with the agreed details.
Reason: To protect the amenities of the locality, including the amenities of neighbouring residential properties and to protect the amenities of this rural area and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Submission Draft Isles of Scilly Local Plan (2015-2030).

PRE-COMMENCEMENT CONDITION: Site Waste Management Plan

- C6** Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.
Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application but are required to fully understand the impact upon landscape and management of waste, to be submitted and agreed by the Local Planning Authority. This is to ensure those characteristics which contribute to the status of the Isles of Scilly as a Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast are not eroded by uncontrolled mineral extraction or the tipping of waste. In accordance with the requirements of Policies SS2(2) and OE5 of the Isles of Scilly Local Plan (2015 - 2030).

PRE-COMMENCEMENT CONDITION: Sustainable Design Measures

- C7** Prior to the commencement of the development, hereby approved, a detailed scheme of specific sustainable design measures to minimise water usage and energy consumption shall be submitted to and approved in writing by the Local Planning Authority. This should include measures to ensure a water consumption standard of no more than 110 litres per person, per day. The agreed details shall be installed as approved prior to the first occupation of the dwelling and be retained as such thereafter.
Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application but are required to in order to comply with Policies SS2(2) and SS6 of the Isles of Scilly Local Plan (2015-2030) and to minimise the impact of the development on precious water resources of the islands.

Further Information

- 1. STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2019.
- 2. ACCESS AND FACILITIES FOR THE FIRE SERVICE:** For the construction of a building you will be required to provide reasonable facilities for the Fire Service. In most circumstances this will mean providing vehicular access for fire appliances. It is important to remember that failure to do so may prevent the applicant from obtaining a completion certificate under the Building Regulations but more importantly, the lives of the occupiers will be put at risk.
- 3. BATS:** The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or

Natural England (01872 245045) for advice.

4. **BUILDING REGULATIONS:** Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project: buildingcontrol@cornwall.gov.uk
5. **DISCHARGE OF CONDITIONS:** In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. Currently, for a householder application, the current fee is £34 but any fee increase would need to be applied should the national fees increase). The fee is payable for each individual request to discharge condition(s). Please check the latest fee schedule before you apply here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
6. **NON-MATERIAL AMENDMENTS:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment (currently the fee is for this is £34 but any fee increase would need to be applied should the national fees increase) or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed amendments with the Planning Officer. Please check the latest fee schedule before you apply here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
7. **APPLICATION TO SOUTH WEST WATER:** Please ensure an application is made to South West Water for new connections. developerservicesplanning@southwestwater.co.uk

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 22nd November 2021



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Mr Nicholas Bright

Please sign and complete this certificate.

This is to certify that decision notice: P/21/064/HH and the accompanying conditions have been read and understood by the applicant: Mr Nicholas Bright.

1. **I/we intend to commence the development as approved:** Demolition of small external store and erection of single storey extension to accommodate one bedroom, one shower room and storage facilities specifically for the use of a wheelchair bound person (Amended Plans) at: Green Pastures Mcfarland's Down St Mary's Isles of Scilly TR21 0NS
on:
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name: **Contact Telephone Number:**
And/or Email:

Print Name:

Signed:

Date:

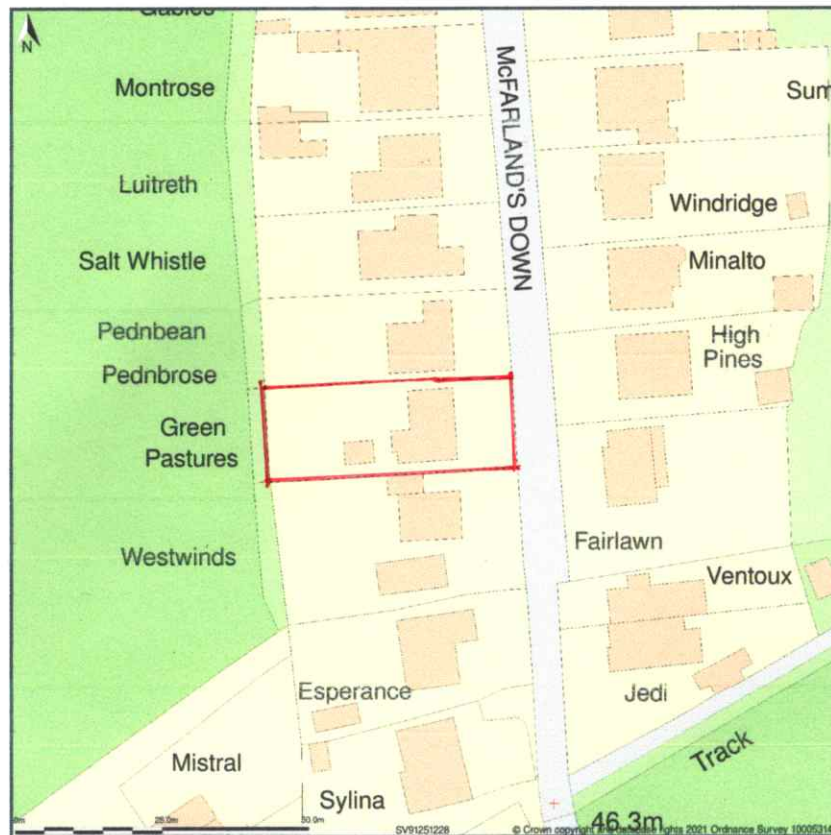
Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

PRE-USE OR Pre-Commencement Conditions:

- C4 Prior to the first use of the annexe accommodation, hereby approved, the bat boxes and bird nesting boxes, as set out in the Ecological Assessment (page 4) Ref: 2021/02, dated 27th August 2021, shall be installed as recommended and be retained as such thereafter.
- C6 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.
- C7 Prior to the commencement of the development, hereby approved, a detailed scheme of specific sustainable design measures to minimise water usage and energy consumption shall be submitted to and approved in writing by the Local Planning Authority. This should include measures to ensure a water consumption standard of no more than 110 litres per person, per day. The agreed details shall be installed as approved prior to the first occupation of the dwelling and be retained as such thereafter.

Green Pastures, McFarland's Down, St Mary's, Isles Of Scilly, TR21 0NS



Site Plan shows area bounded by: 91184.32, 12217.20 91325.74, 12358.68 (at a scale of 1:1250), OSGridRef: SV91251228. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

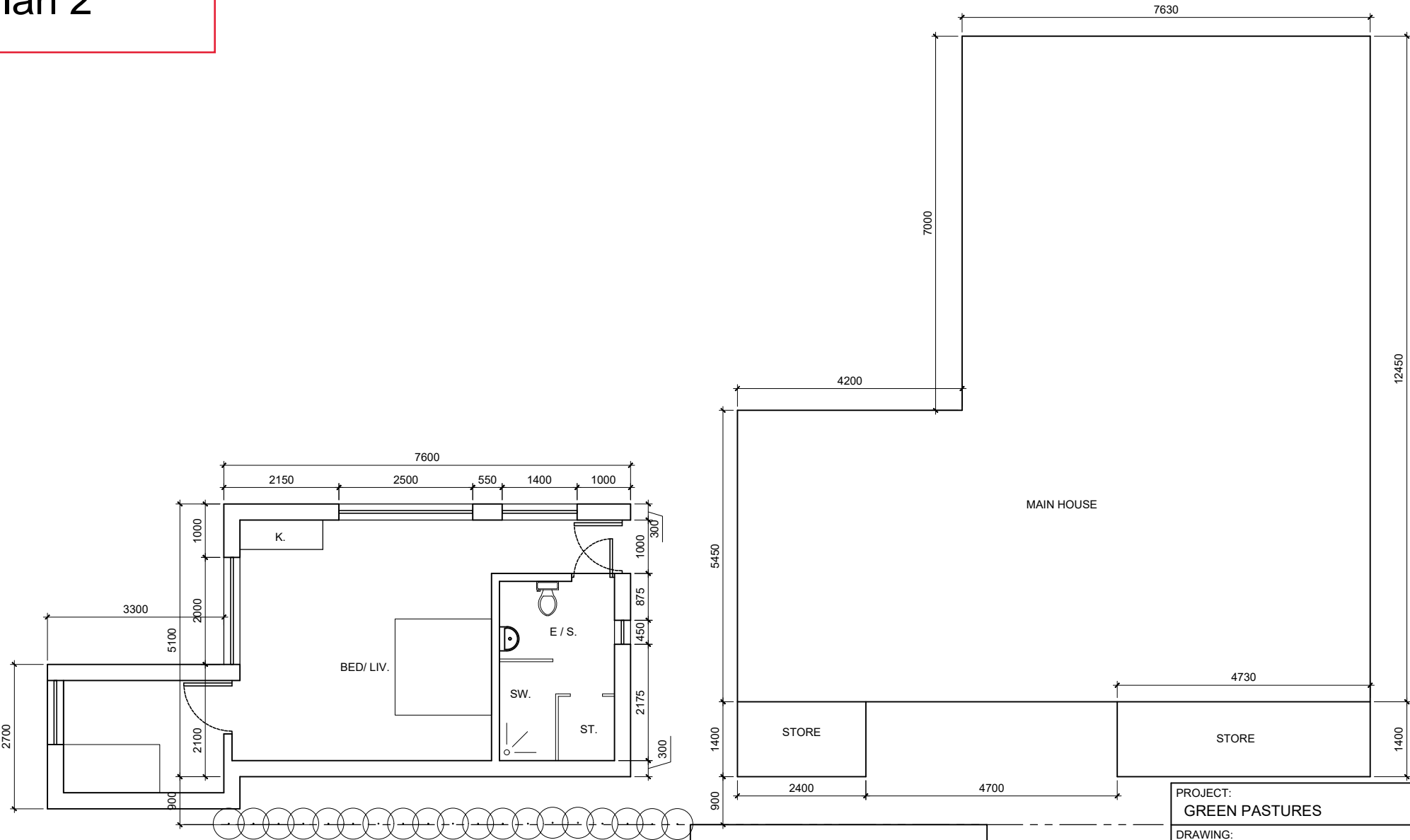
Produced on 13th Aug 2021 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by www.buyaplan.co.uk a licensed Ordnance Survey partner (100053143). Unique plan reference: #00659735-CDEA11

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APPROVED

By Lisa Walton at 1:48 pm, Nov 22, 2021

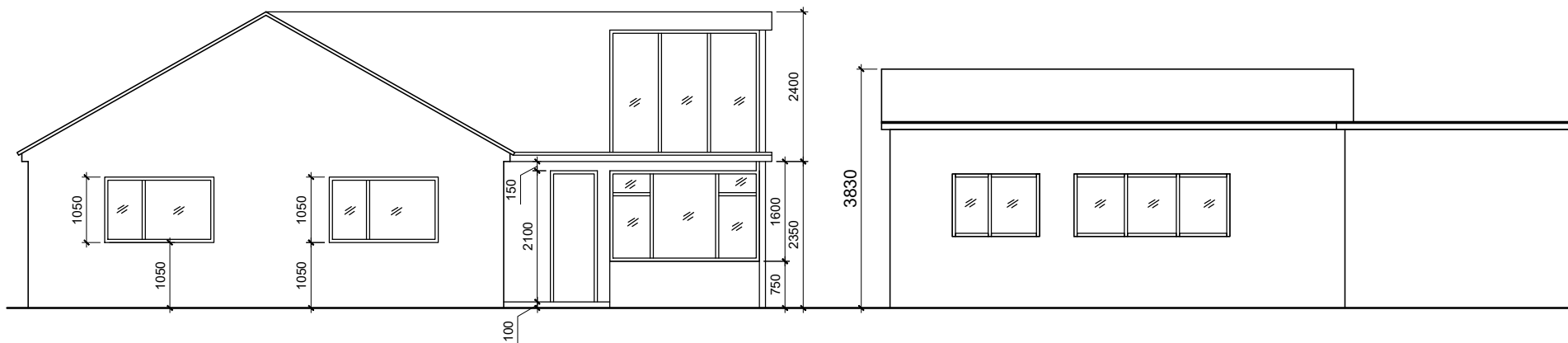
Plan 2



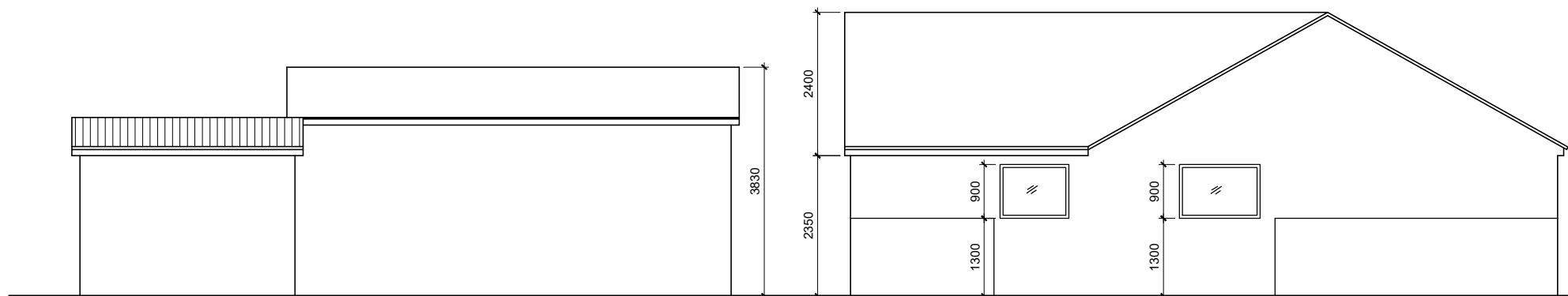
APPROVED
By Lisa Walton at 1:49 pm, Nov 22, 2021

RECEIVED
By Lisa Walton at 8:51 am, Nov 22, 2021

PROJECT: GREEN PASTURES		
DRAWING: PROPOSED FLOOR PLANS		
SCALE: 1:100	DATE: NOV' 21	DWG NO. 1003
BUILDING DESIGN WORKSHOP Ltd Suite 43-45, Airport House, Purely Way, Croydon, CR0 0XZ tel. 02086539714 / 07455301000		



1 PROPOSED NORTH ELEVATION
SCALE - 1:100



2 PROPOSED SOUTH ELEVATION
SCALE - 1:100

RECEIVED

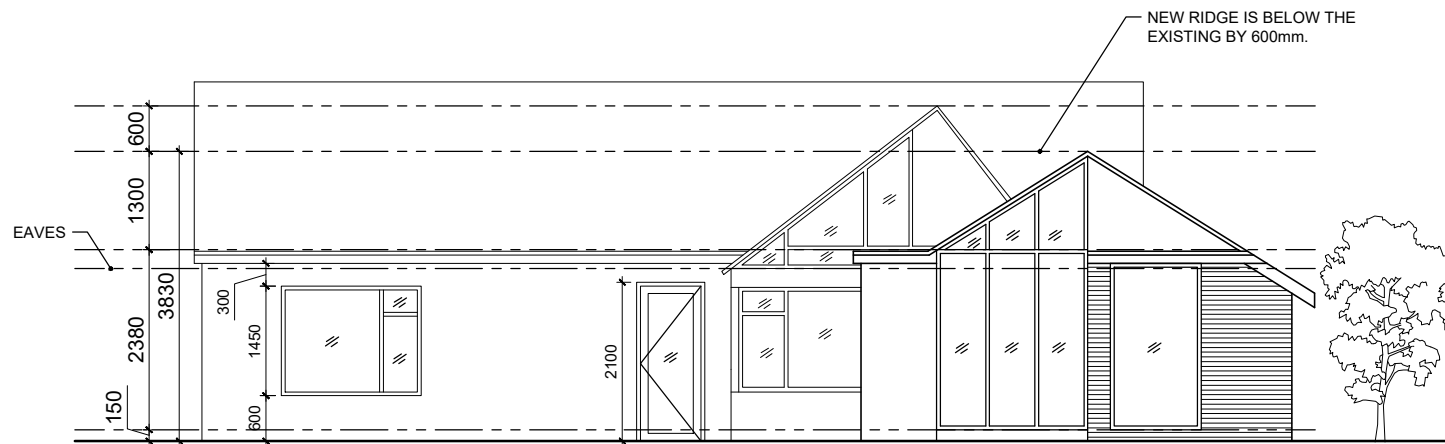
By Lisa Walton at 8:49 am, Nov 22, 2021

APPROVED

By Lisa Walton at 1:51 pm, Nov 22, 2021

PROJECT: GREEN PASTURES		
DRAWING: PROPOSED ELEVATIONS		
SCALE: 1:100	DATE: NOV' 21	DWG NO. 1005
BUILDING DESIGN WORKSHOP Ltd Suite 43-45, Airport House, Purely Way, Croydon, CR0 0XZ tel. 02086539714 / 07455301000		

Plan 4



1

PROPOSED WEST ELEVATION

SCALE - 1:100

APPROVED

By Lisa Walton at 1:52 pm, Nov 22, 2021

RECEIVED

By Lisa Walton at 8:47 am, Nov 22, 2021

The proposals as illustrated derive through extensive consultation and discussions with Mr Miles and his core management team. Having analysed the existing property and the requirements of Mr Miles and his family, it was felt adaptations and alterations were required to provide the level of accommodation required. The main elements of the proposal are to provide increased circulation at ground floor to the existing house which includes the widening of all doors.

In order to provide same independent accommodation the proposal is to demolish the existing store and erect. Suitable and compliant bedroom furniture for Mr & Mrs Miles and, space for their young son. This will enable the main house to remain family for Mr Miles parents, whom the property. Please see Mr Miles statement explanations his special needs following his R.T.A. in 2019.

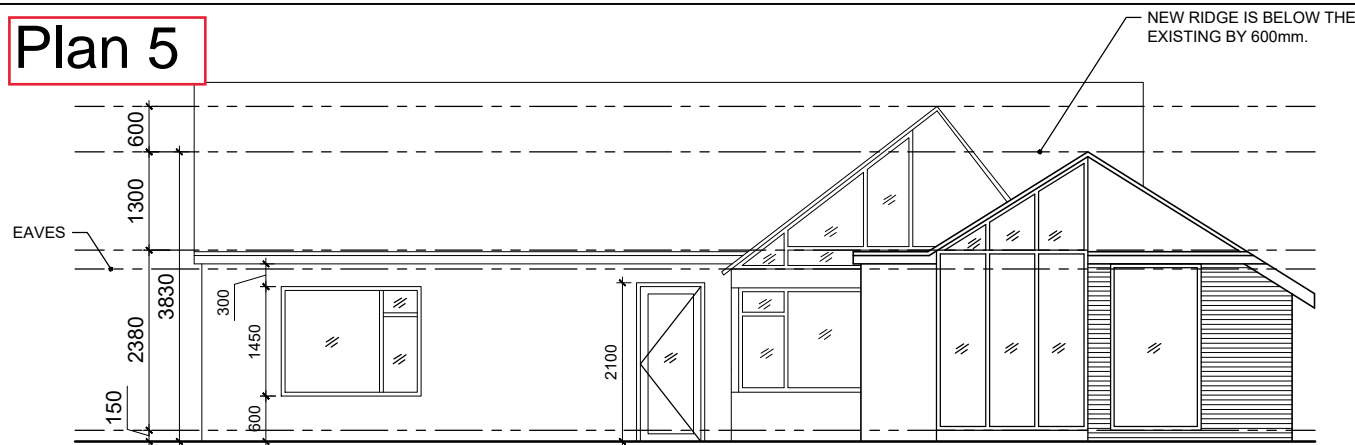
In terms of materials, the proposal is to match the existing house in material composition and style. So as not to compromise the current vernacular head exists in McFawlawas Down. All materials proposed on the project are maintenance free and are contemporary in application. All other external walls will be rendered to match the existing finish.

We believe that the contemporary alterations whilst being functional in practical terms for Mr Sibley and his family will enhance the conservation area and provide a striking addition to the somewhat tired exterior.

PROJECT: GREEN PASTURES		
DRAWING: PROPOSED WEST ELEVATION		
SCALE: 1:50	DATE: NOV' 21	DWG NO. 1004

BUILDING DESIGN
WORKSHOP Ltd
Suite 43-45, Airport House,
Purely Way, Croydon, CR0 0XZ
tel. 02086539714 / 07455301000

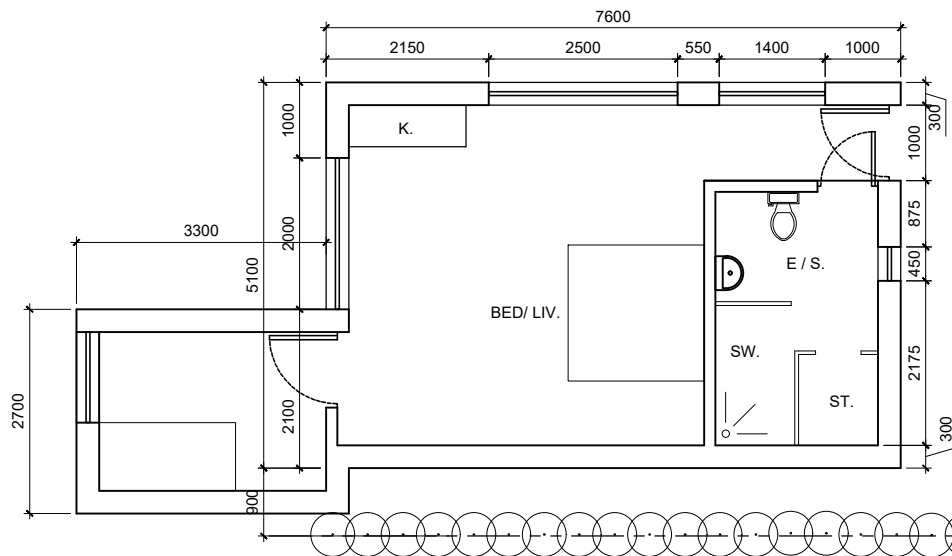
Plan 5



1

PROPOSED WEST ELEVATION

SCALE - 1:100



2

PROPOSED PLAN

SCALE - 1:100

APPROVED

By Lisa Walton at 1:52 pm, Nov 22, 2021

RECEIVED

By Lisa Walton at 11:04 am, Nov 22, 2021

MAIN HOUSE

STORE

STORE

GARAGE TO WEST WINDS

PROJECT:

GREEN PASTURES

DRAWING:

AMENDED SCHEME FOR EXTENSION TO PROPERTY

SCALE:

1:100

DATE:

NOV' 21

DWG NO.

-

BUILDING DESIGN
WORKSHOP Ltd

Suite 43-45, Airport House,
Purely Way, Croydon, CR0 0XZ
tel. 02086539714 / 07455301000

PRELIMINARY ROOST ASSESSMENT (PRA)

OUTBUILDING AT GREEN PASTURES, MCFARLAND'S DOWN, ST MARY'S, ISLES OF SCILLY



Client: Nicholas Bright

Our reference: 2021/02

Planning reference: P/21/064/HH

Report date: 27th August 2021

Author: James Faulconbridge BSc (Hons), MRes, MCIEEM

Contact: ios.ecology@gmail.com

Executive Summary

Bats – Results and Findings

The preliminary roost assessment (PRA) survey concluded that there was **negligible potential** for use of the outbuilding by bats. This assessment relates solely to the outbuilding at Green Pastures rather than the residential property itself.

This judgement was reached in accordance with the survey methodologies and evaluation criteria outlined in the Bat Surveys for Professional Ecologists: Good Practice Guidelines 3rd edition.¹

Bats – Further Survey Requirements

No further surveys are recommended – the PRA conclusion of negligible potential does not require further survey information with regards to bats in order to inform a planning application.

Bats – Recommendations

It is not recommended that any Planning Conditions are required with regards to bats in relation to the proposed demolition of the outbuilding assessed in this report.

Standard good practice and vigilance should be observed by the contractors undertaking the demolition works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations. Recommendations to ensure legislative compliance are provided in Appendix 2.

Nesting Birds – Results and Findings

The survey did not identify any suitable nesting habitat for breeding birds associated with the outbuilding.

Nesting Birds - Recommendations

There is no requirement to replace nesting habitat for breeding birds as no suitable features are identified in the outbuilding.

If the applicant wishes to provide biodiversity enhancement, nest boxes could be erected on the new building, or associated with the existing dwelling and residential garden. Guidance on suitable specifications is provided.

Other Ecological Receptors

No further ecological impacts relevant to planning are identified.

¹ Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn). The Bat Conservation Trust, London.

APPENDIX 1 – PRELIMINARY ROOST ASSESSMENT (PRA)

Planning Authority: Isles of Scilly	Location: 91255(E) 12288 (N)	Planning Application ref: P/21/064/HH
Planning application address: Green Pastures, McFarland's Down, St Mary's, Isles of Scilly		
Proposed development: <p>The proposed works were identified by the client on site at the time of survey and accord with the documentation submitted in support of the application. These involve:</p> <ol style="list-style-type: none"> 1) The demolition of the existing outbuilding; 2) The erection of a new residential structure. 		
Building references: <p>The outbuilding is set within the rear garden of the property Green Pastures and is identified in the plans provided in Appendix 3.</p>		
Name and licence number of bat-workers carrying out survey: <p>James Faulconbridge (2015-12724-CLS-CLS)</p>		
Preliminary Roost Assessment date: <p>The visual inspection was undertaken on 26th August 2021 in accordance with relevant Best Practice methodology².</p>		
Local and Landscape Setting: <p>The outbuilding at Green Pastures is situated within the residential area of McFarland's Down to the north-west of St Mary's in the Isles of Scilly.</p> <p>The land to the west, directly accessible from the garden of the property, is largely open with a mix of agricultural and pasture land with areas of heathland and coastal grassland on the approach to the shoreline. To the east is an area of mature coniferous tree cover which extends north towards the shore. The property is bounded on both the northern and southern aspects by further residential properties with associated amenity gardens.</p> <p>A common pipistrelle roost was recorded within McFarland's Down in 2014 in a garage, with further transient/day roosts recorded associated with properties to the east.</p>		
Building Description(s): <p>The Outbuilding is a single-skinned one-storey structure set within the residential garden of Green Pastures. It is rendered inside and out – this render is in good condition throughout. Windows are present on the northern aspect only – these are uPVC and are well fitted with no gaps or cavities associated. The door on the eastern aspect is set within a wooden frame – this is well fitted. The roof is a single-pitch sloping roof formed of corrugated sheets. There are occasional minor gaps where the sheets overlap but there is negligible potential for bats to</p>		

² Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn). The Bat Conservation Trust, London.

utilise such features due to their size and position within the roof. Any minor gaps present were observed to be well-cobwebbed at the time of survey which supports this assessment. There is guttering affixed on the northern aspect – this effectively blocks direct fly-in access to gaps under the ridges of the corrugated sheets from this side. The sheets are well-pointed on their junction with the walls on all other aspects with no cavities noted externally. The fascia board to which the guttering is attached is generally tightly fitted, though above the windows there is a gap offering direct access up and into the building interior. This is the only location where potential internal access was identified but the feature is not considered to represent a roosting opportunity in its own right.

Internally the outbuilding is used for storage and appeared to be in routine use being clean and tidy. A careful inspection did not identify any droppings or other evidence of use by bats, and the internal conditions indicated that such a search could be considered comprehensive. There is no loft or roof void and the corrugated sheets were affixed directly to the timber roof structure. Occasional minor gaps were observed where the roof timbers meet the adjacent walls, though these gaps were sporadic and well-cobwebbed indicating no recent use by mammals including bats.

No evidence of current or historic use by bats or nesting birds was identified during the survey.

Survey Limitations

There were no limitations on access or visibility which would affect the results of the survey.

Assessment of Potential for use by Roosting Bats

It is considered that the outbuilding provides **negligible potential** for use by roosting bats.

Assessment of Potential for use by Nesting Birds

It is considered that the outbuilding provides **negligible potential** for use by nesting birds.

Recommendations and Justification (Bats):

No further surveys are recommended – the conclusion of **negligible potential** does not require any further information with regards to bats in order to inform a planning application.

It is not recommended that any Planning Conditions are required with regards to bats in relation to the proposed demolition of the outbuilding.

Standard good practice and vigilance should be observed by the contractors undertaking the demolition works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations. Recommendations to ensure legislative compliance are provided in Appendix 2.

Recommendations and Justification (Birds):

There is no requirement to mitigate for loss of nesting habitat for breeding birds; however if the applicant wished to provide biodiversity enhancement measures, this could be achieved through the erection of bird boxes on the new structure, or associated with the existing residential property or garden.

House sparrows nest communally and nest boxes could accommodate this, either through the installation of a single purpose-built nest box comprising several individual chambers with separate entrances, or the installation of 3+ nest boxes in close proximity. Nest boxes suitable for hole-dwelling species such as blue tits, or open-fronted boxes for species such as blackbird and robin also have a high likelihood of occupation.

Boxes should be mounted on a wall or tree if possible, at a height of at least 3m above the ground with an entrance clear of vegetation/other features which may put them at risk of

predation from cats.

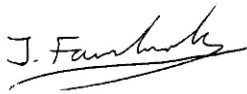
Boxes can be sourced online, or can be constructed on site using methodology and specifications provided by the RSPB:

Sparrows: <https://www.rspb.org.uk/get-involved/activities/give-nature-a-home-in-your-garden/garden-activities/createasparrowstreet/>

Other Species: <https://www.rspb.org.uk/fun-and-learning/for-families/family-wild-challenge/activities/build-a-birdbox/>

Signed by bat worker(s):

Date: 27th August 2021

A handwritten signature in black ink, appearing to read 'J. Fairbanks', with a horizontal line drawn underneath the name.

APPENDIX 2

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PRECAUTIONARY METHOD STATEMENT WITH REGARDS TO BATS

The purpose of this Method Statement is to ensure that demolition works can proceed where presence of bats has been determined to be unlikely, but a precautionary approach is still advisable. It has been determined that direct harm to roosting bats during the proposed demolition works would be highly unlikely.

Contractors should, however, be aware of **their own legal responsibility with respect to bats**:

Relevant Legislation regarding Bats

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation even if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

- (a) *To impair their ability -*
- *to survive, to breed or reproduce, or to rear or nurture their young; or*
 - *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*
- (b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

Contractors should be aware of **where bats are most likely to be found** in respect to the given building structures:

There is a negligible risk of bats making transient use of minor cavities between corrugated roofing sheets. These sheets should be removed individually and by hand, taking care to lift directly upwards such that in the highly unlikely event of a bat being present, they are not crushed by the removal of the sheet.

There is a negligible risk of bats being present internally in crevices between the timber roof structure and the adjacent walls. Where possible, the roof timbers around the edges of the structure should be removed by hand and with care.

Contractors should be aware of **the process to follow in the highly unlikely event of finding bats** or evidence indicating that bats are likely to be present:

If bats are identified, works should cease and the named ecologist contacted immediately for advice.

If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.

Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm **and** if the ecologist cannot be contacted for advice.

APPENDIX 3

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LOCATION PLAN AND PHOTOGRAPHS



Map 01 – Illustrating location of property within the local environs (red circle). Reproduced in accordance with Google’s Fair Use Policy.



Map 02 – Showing the Outbuilding (blue) which was subject to the survey. The residential property of Green Pastures is shown in red – this was not subject to survey as part of this assessment.



Photograph 1: Showing the outbuilding in context with the gable-end of the main residential property (Green Pastures) to the left.



Photograph 2: Showing the guttering attached to the fascia board on the northern aspect – this fitting effectively blocks direct fly-in access to the gaps in the corrugated roof sheets.



Photograph 3: Showing the gap beneath the fascia board on the northern aspect where it passes above the window, potentially allowing internal access to the outbuilding.



Photograph 4: Showing the tight fit between the fascia and the wall at all locations except above the windows.



Photograph 5: Showing the interior of the building with the timber roof structure visible.



Photograph 6: Showing the landscape setting of the outbuilding (photograph taken from beside the building facing north-west across the residential garden).



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455

✉planning@scilly.gov.uk

THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £34 per application
- Other permissions - £116 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £34 for householder type applications and £234 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non material if necessary.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Other Types - 6 months

You can obtain the appeal forms by calling 0303 444 5000 or submit an appeal through the Planning Portal <http://www.planningportal.gov.uk/planning/appeals/online/makeanappeal>

You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people

in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792, via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall Council
Pydar House
Pydar Street
Truro
Cornwall
TR1 1XU

Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.