



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, St Mary's TR21 0LW

Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990

Town and Country Planning (Development Management Procedure) Order 2015

PERMISSION FOR DEVELOPMENT

Application No:	P/21/077/COU	Date Application Registered:	26th October 2021
Applicant:	Mr & Mrs Green Sea Glass 4 Porthcressa Road St Mary's Isles Of Scilly TR21 0JL	Agent:	Mr N Bush St Marys House Point Mills Bissoe Truro TR4 8QZ
Site address:	Freesia 3 The Parade Hugh Town St Mary's Isles Of Scilly		
Proposal:	Change of use of guest house to self-contained holiday let with owners' accommodation and associated works. (Listed Building) (AMENDED PLANS)		

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- **Plan 1 Existing Plans and Location Plan, drawing number: 4042 01 A dated June 2021**
 - **Plan 2 Proposed Plans AMENDED, drawing number: 4042 02 C dated June 2021**
 - **Heritage Assessment and Design and Access Statement**
 - **Site Waste Management Plan**
- These are stamped as APPROVED**
Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).
- C3 The self-contained ground floor flat, hereby permitted, as show in yellow on the attached plan, shall not be used otherwise than for either:**
- **the provision of short-let holiday accommodation, in connection with the permanent owners accommodation; or**

- if rented out on a longer-term basis, to persons with an established identified specific local need in accordance with Policy LC2 of the Local Plan.

Short-term holiday let use shall not exceed continuous occupation for more than 28 days in any calendar year. In accordance with the General Data Protection Regulations, the owner or operator shall maintain a register of occupants for each calendar year. This shall be made available on request for inspection by any duly authorised officer of the Local Planning Authority.

Reason: The property is changing from lawful guesthouse use to a mixed use of owners' accommodation and self-catering accommodation and on the basis the ground floor flat meets the minimum space standards this condition provides flexibility to use and when not required for holiday let to enable the accommodation to be retained for longer term local need accommodation.

- C4 The self-contained two storey first floor flat, hereby permitted, as show in green on the attached plan, shall not be used otherwise than for the provision of owners' accommodation only in connection with the self-contained ground floor flat (as per condition C3) at Freesia, The Parade. The owner's accommodation shall not be occupied or used as short-term holiday letting accommodation and shall be retained as permanent accommodation.**

Reason: To ensure that the development is occupied as staff or owners' accommodation in accordance with Policy WC5 of the Isles of Scilly Local Plan 2015-2030

- C5 All works involving machinery required in connection with the implementation of this permission shall be restricted to between 0800 and 1800 hours Monday to Saturdays. There shall be no works involving machinery on a Sunday or Public or Bank Holiday.**
Reason: In the interests of protecting the residential amenities of neighbouring properties.

- C6 A) No alterations shall take place until a programme of historic building recording work including a Written Scheme of Investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions, and:**

1. The programme and methodology of site investigation and recording
2. The programme for post investigation assessment
3. Provision to be made for analysis of the site investigation and recording
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation
6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation

B) No alterations shall take place other than in accordance with the Written Scheme of Investigation approved under condition (A).

C) The historic building recording condition will normally only be discharged when all elements of the WSI including on site works, analysis, report, publication (where applicable) and archive work has been completed.

Reason: A pre-commencement condition is necessary in this instance due to the need to ensure that a programme and methodology of historic building recording is undertaken before physical works commence on site. This is in accordance with the provisions of NPPF (2021) Chapter 16, paragraph 205 and Policy OE7(6) of the Isles of Scilly Local Plan (2015-2030).

- C7 Before development starts large scale drawings to a minimum scale of 1:20 of the external stairway, including the railings, the precise materials of construction shall be submitted to and approved in writing by the Local Planning Authority. The stairway shall then be constructed in accordance with the agreed details and be**

retained as such thereafter.

Reason: This is a pre-commencement condition that requires details that were not submitted as part of the original application to be considered, so that the appearance of the external steps is sympathetic to and does not harm the character and appearance of the Listed Building and does preserve or enhance the character of the Conservation Area. In accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C8 Prior to the removal of the existing chimney, details including scale drawings of 1:20 of the construction, materials and finish of the replacement chimney shall be submitted to and approved in writing by the Local Planning Authority. The replacement chimney shall be constructed in accordance with the agreed details within 6 months of chimney removal and be retained as such thereafter.**

Reason: So that the appearance of the replacement chimney is sympathetic to and does not harm the character and appearance of the Listed Building and does preserve or enhance the character of the Conservation Area. In accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C9 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any external lighting shall be submitted to and approved, in writing, by the Local Planning Authority. The lighting shall thereafter be installed in accordance with the agreed details.**

Reason: To protect the amenities of the locality, including those of neighbouring residential properties and to protect this rural area and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2021.
2. The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Works should proceed in accordance with the Precautionary Method Statement with Regard to Bats, as per **Appendix 2 of the Primary Roost Assessment (Ref: 2021-10-1 by IOS Ecology)**. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.
3. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment (for which a fee of £234 would be required) or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed amendments with the Planning Officer.
4. In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. The fee is current £116 for each request to discharge condition(s) where the planning permission relates to any other type of development other than a householder application. The fee is payable for each individual request made to the Local Planning Authority. You are advised to check the latest fee schedule at the time of making an application as

any adjustments including increases will be applied:

https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf

5. This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.
6. PARTY WALL ISSUES: As the proposed works affect the boundary with a neighbouring property, this decision does not convey any other form of consent or agreement that may be necessary in conjunction with these works and does not override or supersede any civil rights, which the neighbour may have. The attention of the applicant is drawn to the information contained in the Party Wall etc. Act 1996.

Signed:



Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 16th June 2022



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Mr & Mrs Green

Please sign and complete this certificate.

This is to certify that decision notice: P/21/077/COU and the accompanying conditions have been read and understood by the applicant: Mr & Mrs Green.

1. **I/we intend to commence the development as approved:** Change of use of guest house to self-contained holiday let with owners accommodation and associated works. (Listed Building) at: Freesia 3 The Parade Hugh Town St Mary's Isles Of Scilly
on:
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name: **Contact Telephone Number:**
And/or Email:

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

PRE-COMMENCEMENT CONDITION(S)

- C6 A) No alterations shall take place until a programme of historic building recording work including a Written Scheme of Investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions, and:
1. The programme and methodology of site investigation and recording
 2. The programme for post investigation assessment
 3. Provision to be made for analysis of the site investigation and recording
 4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
 5. Provision to be made for archive deposition of the analysis and records of the site investigation
 6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation
- B) No alterations shall take place other than in accordance with the Written Scheme of Investigation approved under condition (A).
- C) The historic building recording condition will normally only be discharged when all elements of the WSI including on site works, analysis, report, publication (where applicable) and archive work has been completed.
- C7 Before development starts large scale drawings to a minimum scale of 1:20 of the external stairway, including the railings, the precise materials of construction shall be submitted to and approved in writing by the Local Planning Authority. The stairway shall then be constructed in accordance with the agreed details and be retained as such thereafter.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455

✉planning@scilly.gov.uk

THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £34 per application
- Other permissions - £116 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £34 for householder type applications and £234 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non material if necessary.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Other Types - 6 months

You can obtain the appeal forms by calling 0303 444 5000 or submit an appeal through the Planning Portal <http://www.planningportal.gov.uk/planning/appeals/online/makeanappeal>

You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people

in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792, via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall Council
Pydar House
Pydar Street
Truro
Cornwall
TR1 1XU

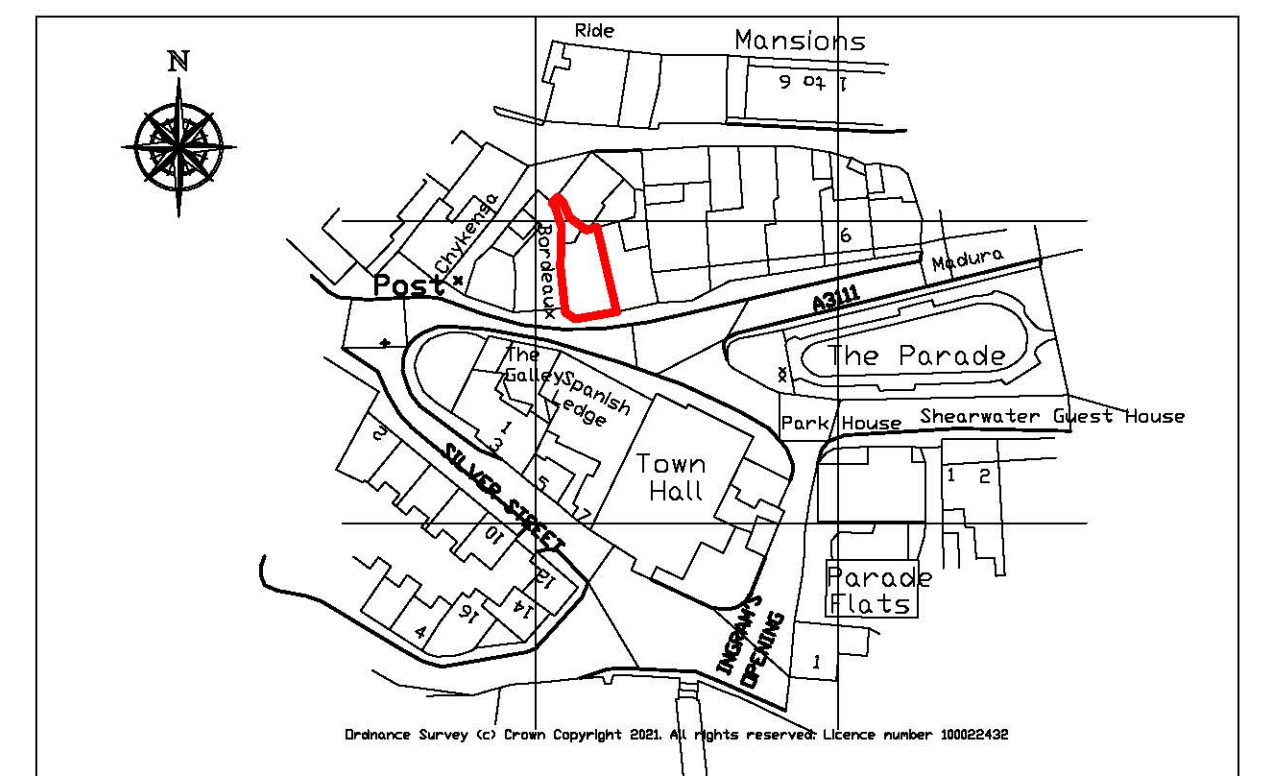
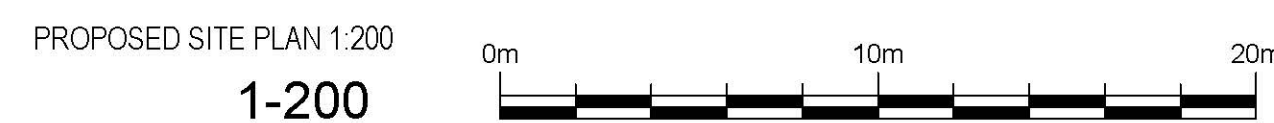
Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.



NOTES.

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4. ALL MATERIALS AND WORKSMANSHIP TO COMPLY WITH CURRENT BRITISH STANDARDS AND CODES OF PRACTICE

rev B		
rev A	Amendments	20-09-21

ISSUE
PLANNING APPLICATION

CLIENT / SITE
Mr & Mrs Greene
Freesia, The Parade, St Marys
Isles of Scilly
TR21 0LP

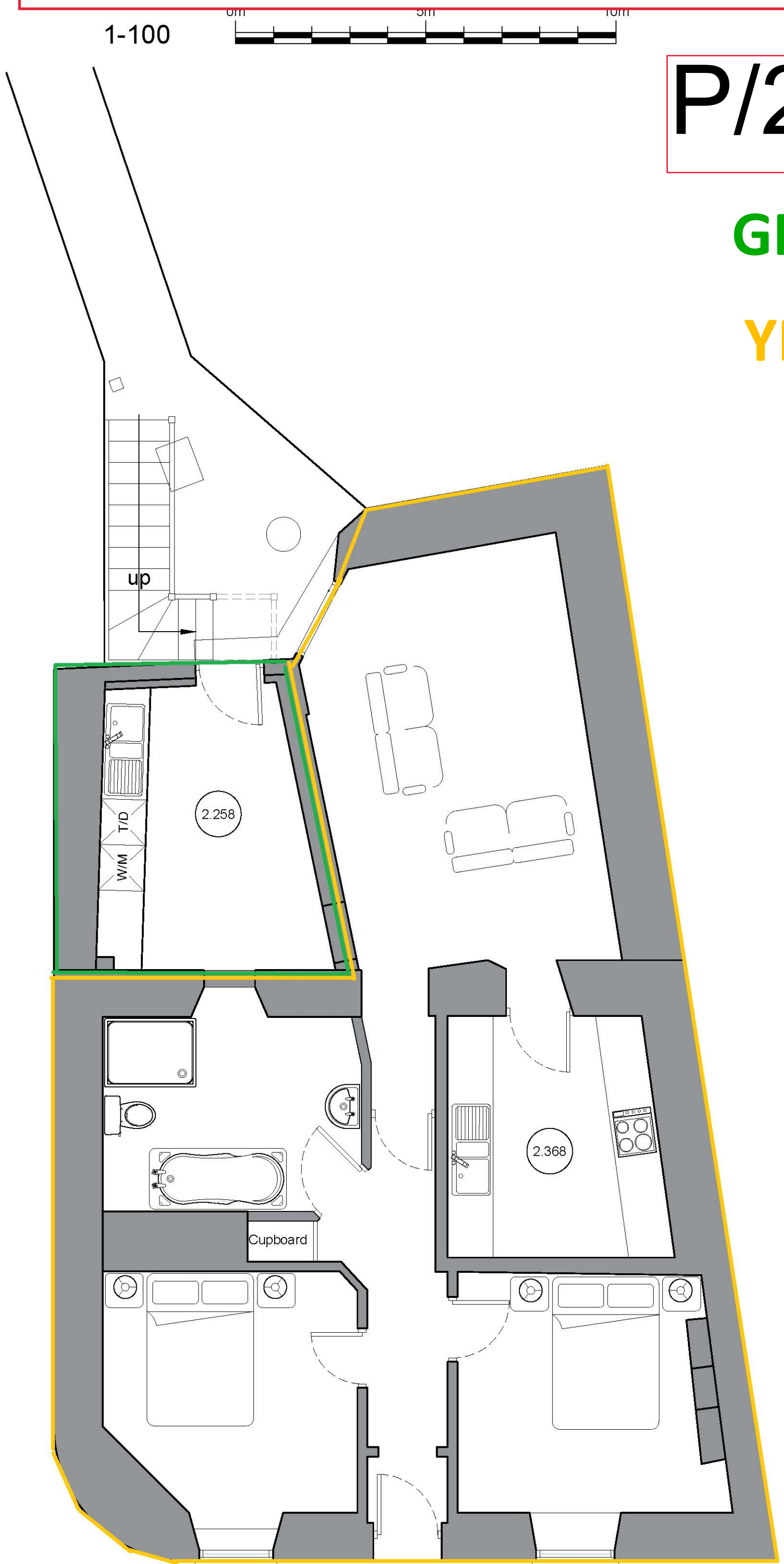
PROJECT	Internal alterations and change of use
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DETAILS

Proposed Plans, Elevations, Site
Plan and Location Plan

PLAN Nº 4042	02	SCALES	1:50, 1:100, 1:200 & 1:1250 @ A1
	A	DATE	June 2021
		DRAWN	DN

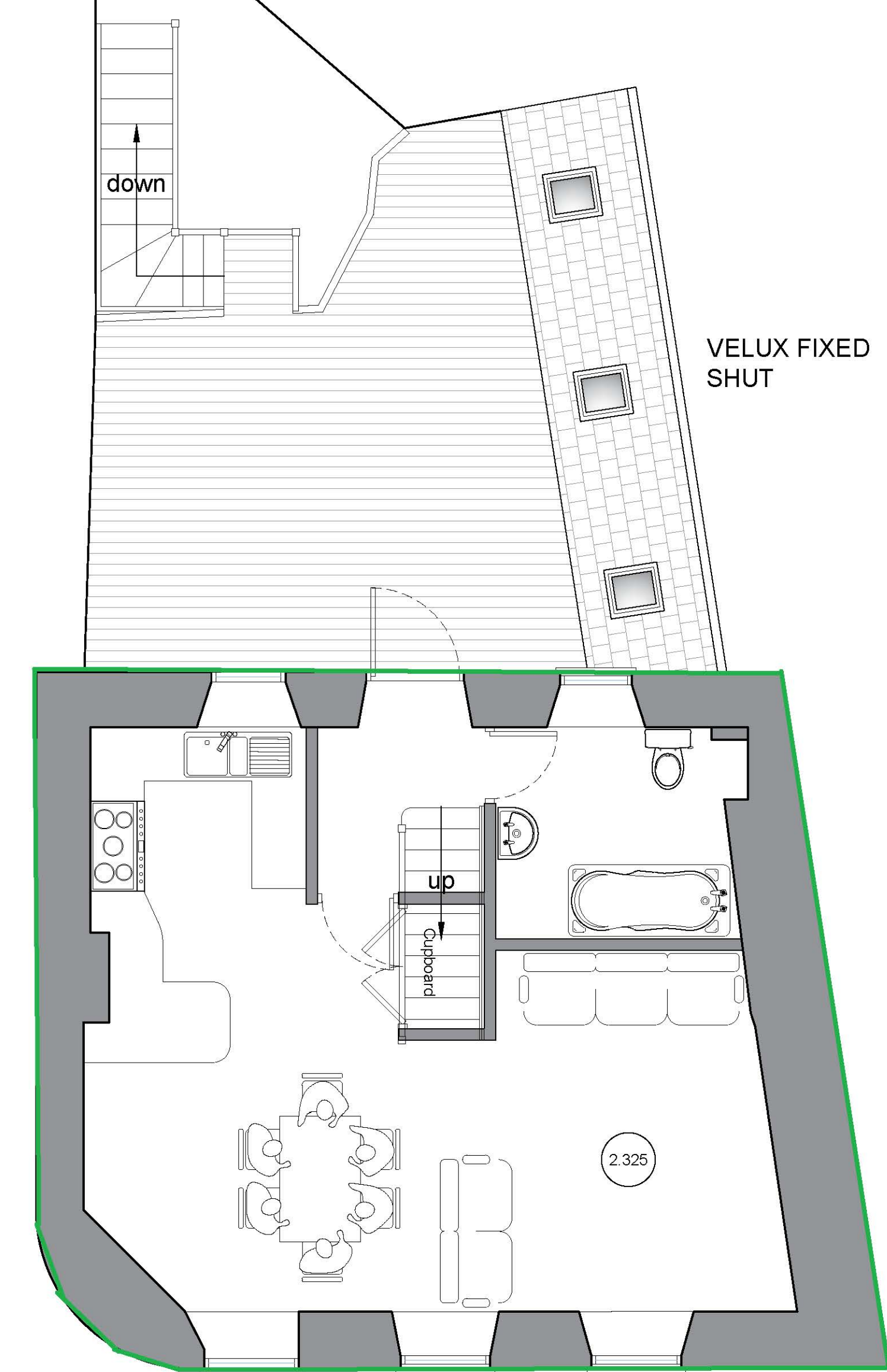
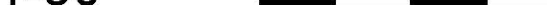
YELLOW - Holiday Letting Accommodation



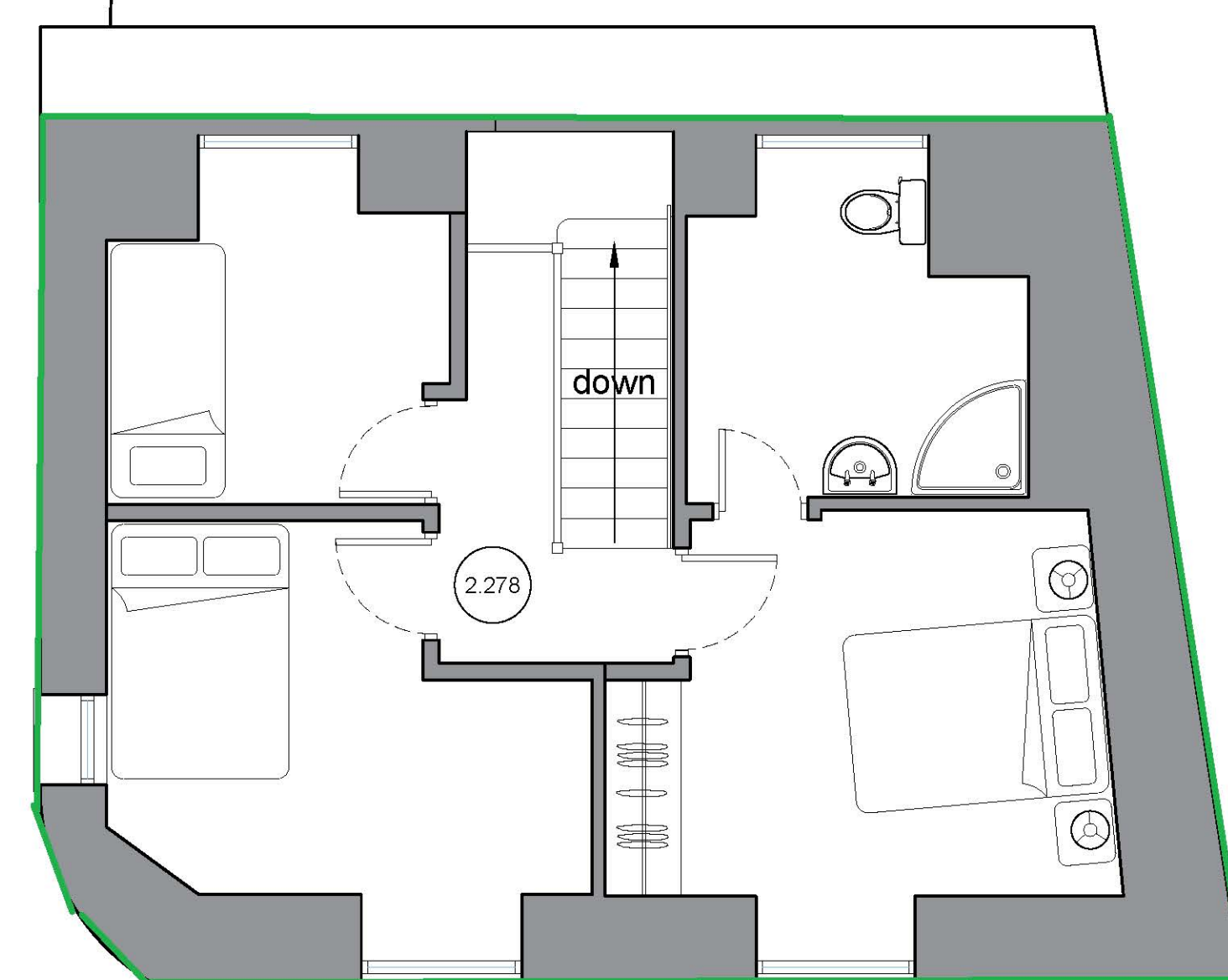
PROPOSED GROUND FLOOR PLAN 1:50

1-50

0m 5m



PROPOSED FIRST FLOOR PLAN 1:50



PROPOSED SECOND FLOOR PLAN 1:50

EXISTING FINISHES:
Roof - Concrete Tiles
Walls - Stone, Painted Render, Timber
Windows/ doors - Timber, UPVC



EXISTING SOUTH ELEVATION 1:100



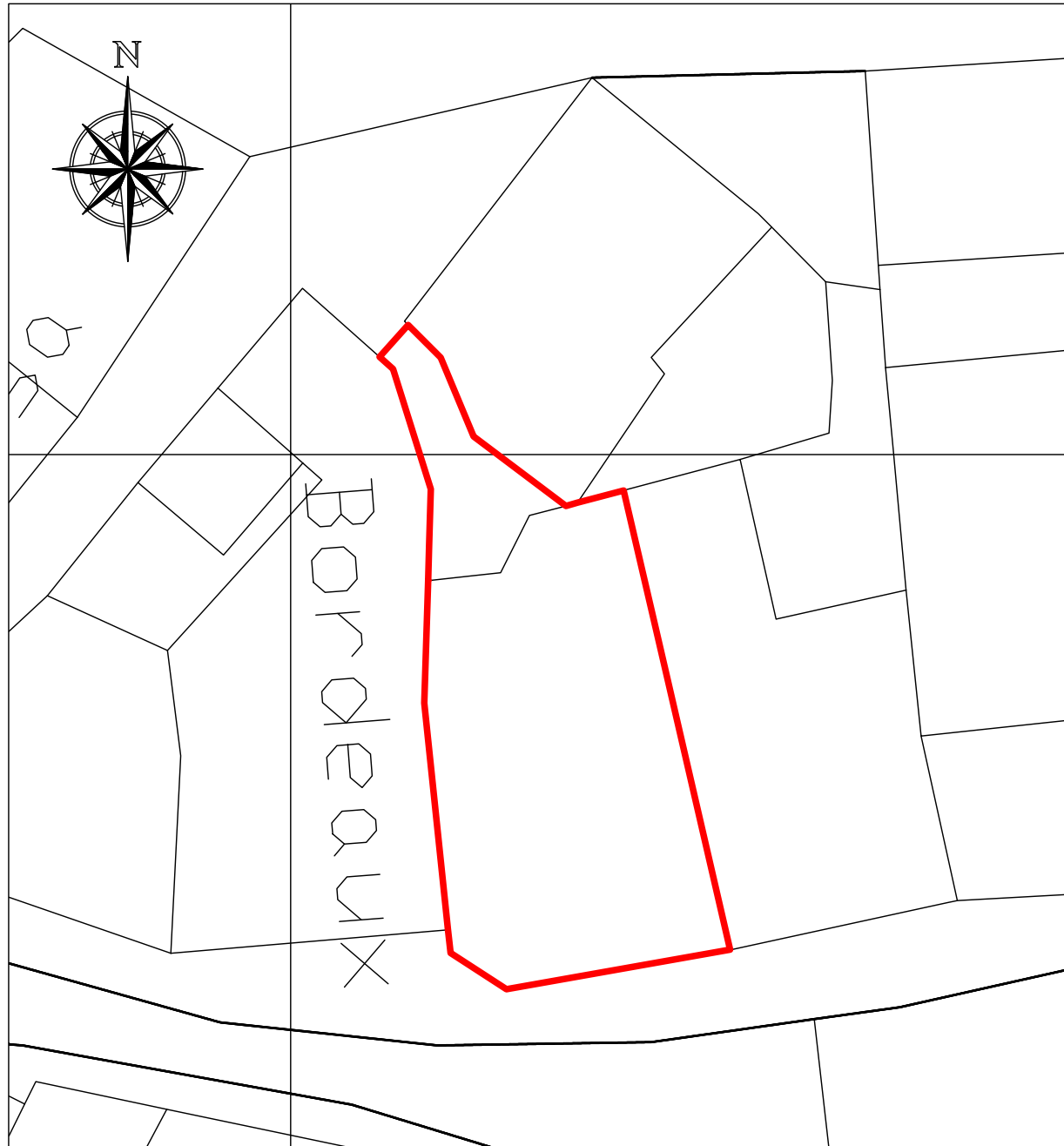
EXISTING NORTH ELEVATION 1:100

RECEIVED

By Emma Kingwell at 11:47 am, Sep 24, 2021

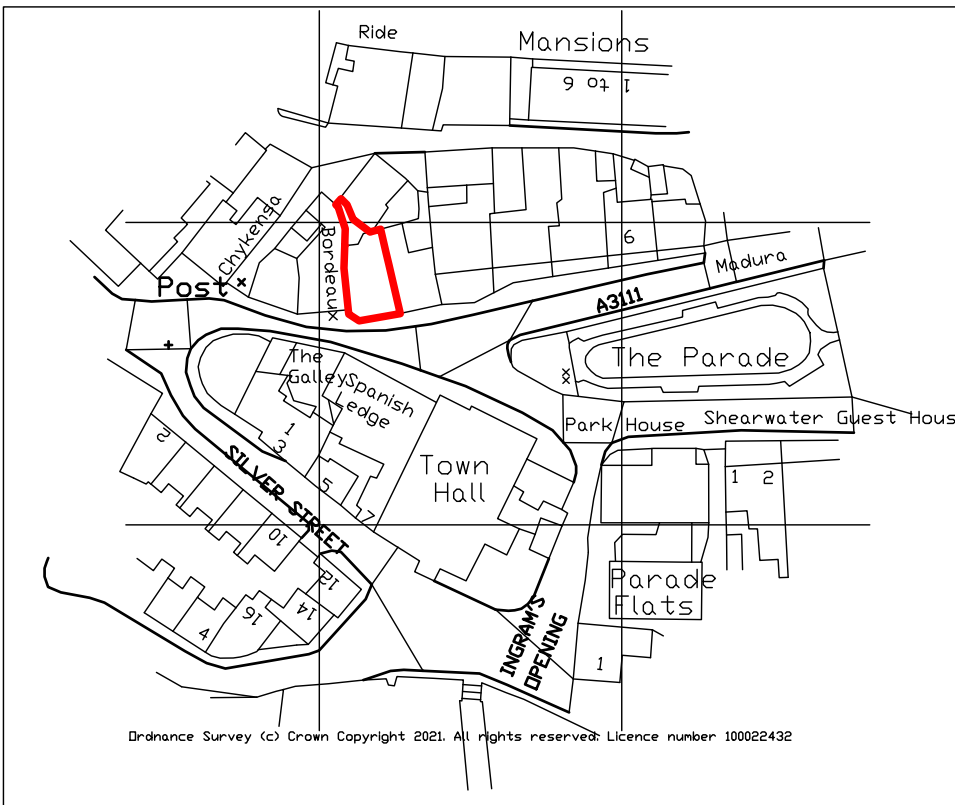
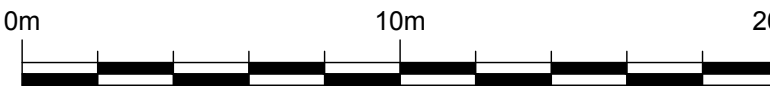
APPROVED

By Lisa Walton at 10:50 am, Jun 16, 2022



EXISTING SITE PLAN 1:200

1-200



LOCATION PLAN 1:1250

1-1250



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rev B		
rev A	Amendments	20-09-21

ISSUE **PLANNING APPLICATION**

CLIENT / SITE
Mr & Mrs Greene
Freesia, The Parade, St Marys
Isles of Scilly
TR21 0LP

PROJECT
Internal alterations and change of use

DETAILS
Existing Plans, Elevations, Site Plan
and Location Plan

PLAN N°	01	SCALES	1:50, 1:100, 1:200 & 1:1250 @ A1
4042	A	DATE	June 2021
		DRAWN	DN

NHB ARCHITECTURAL SERVICES LTD

St Marys House, Points Mills, Bissac, Nr Truro, TR4 8DZ
e-mail : n-h@nbconnect.com
telephone : 01872 870888 / faxsimile : 01872 870500
www.nhbarchitecturalservices.co.uk

EXISTING GROUND FLOOR PLAN 1:50

1-50



EXISTING FIRST FLOOR PLAN 1:50

EXISTING SECOND FLOOR PLAN 1:50

PROPOSED FINISHES:
Roof - Concrete Tiles
Walls - Painted Render, Timber
Windows/ doors - Timber, UPVC

False chimney formed to replicate
existing chimney which is due to be removed

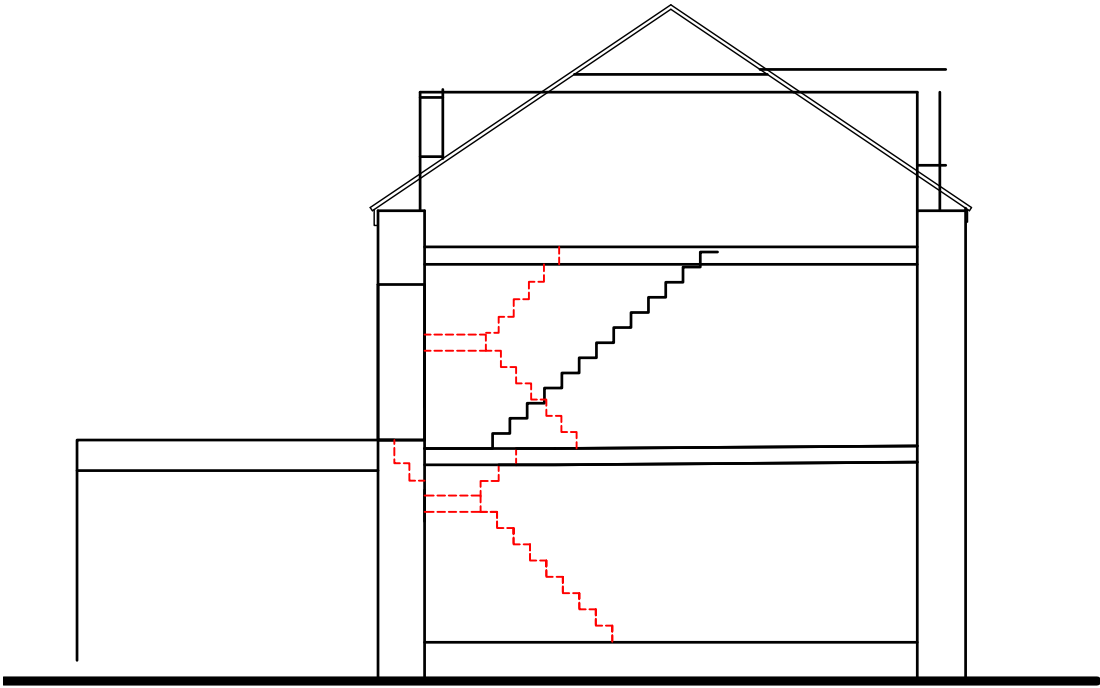


PROPOSED SOUTH ELEVATION 1:100

1-100

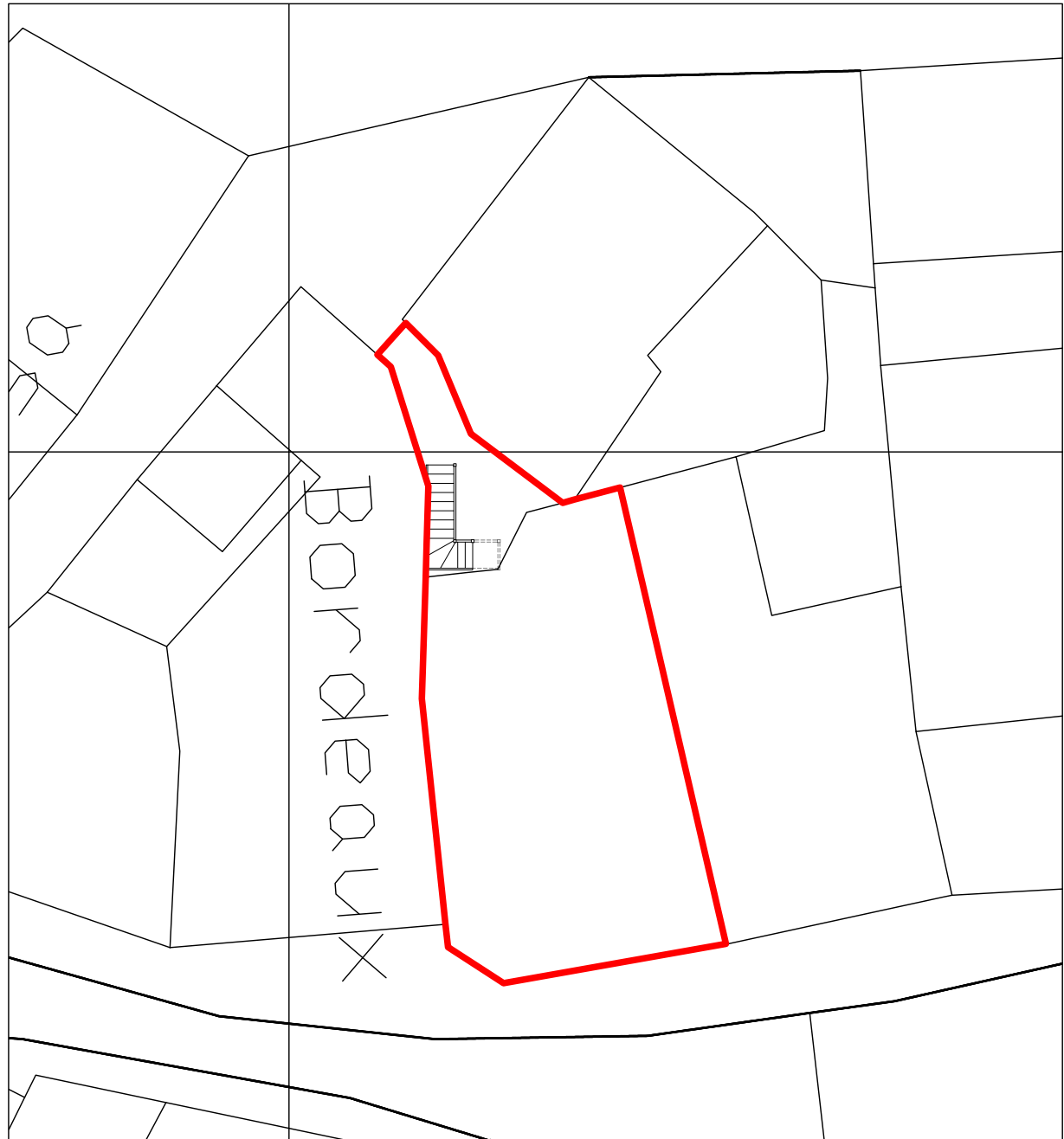
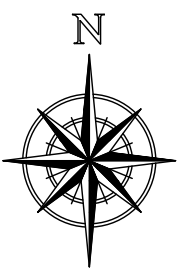


PROPOSED NORTH ELEVATION 1:100



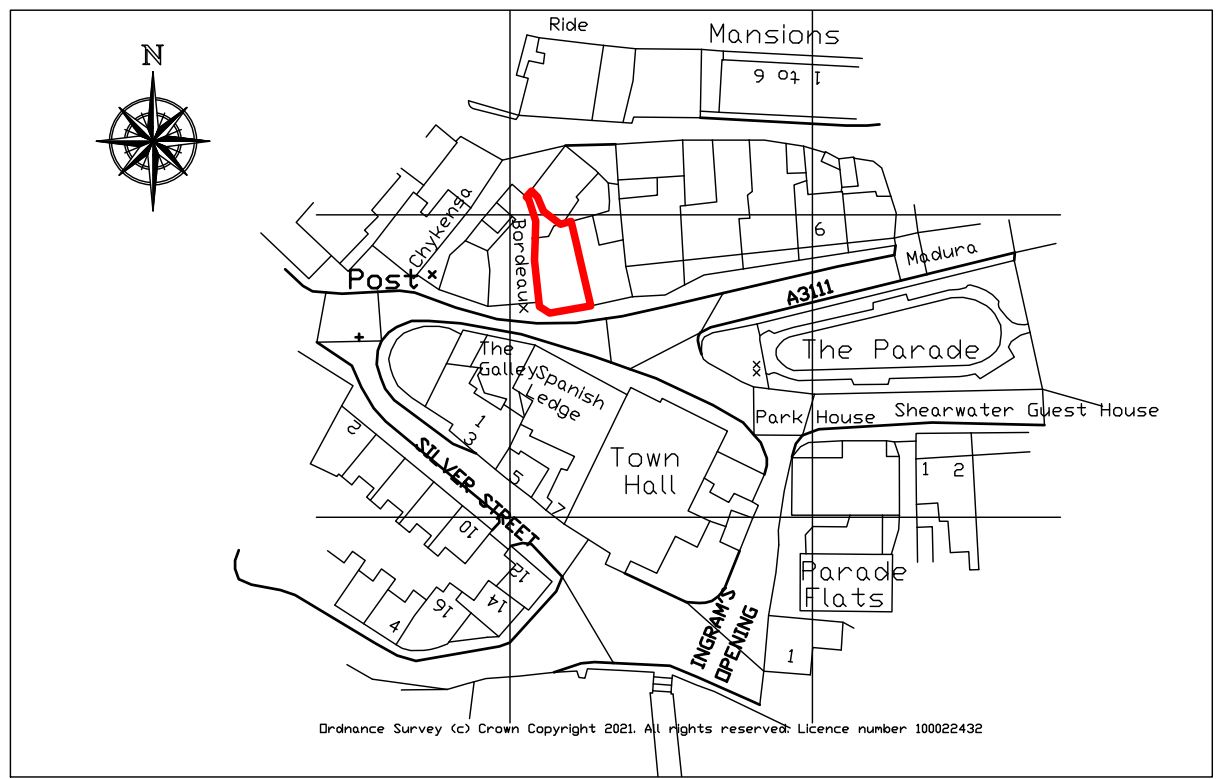
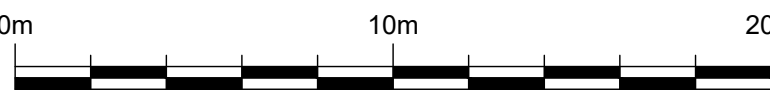
APPROVED

By Lisa Walton at 10:50 am, Jun 16, 2022



PROPOSED SITE PLAN 1:200

1-200



LOCATION PLAN 1:1250

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rev C	Chimney reinstated	18-05-22
rev B	Amendments	21-12-21
rev A	Amendments	20-09-21

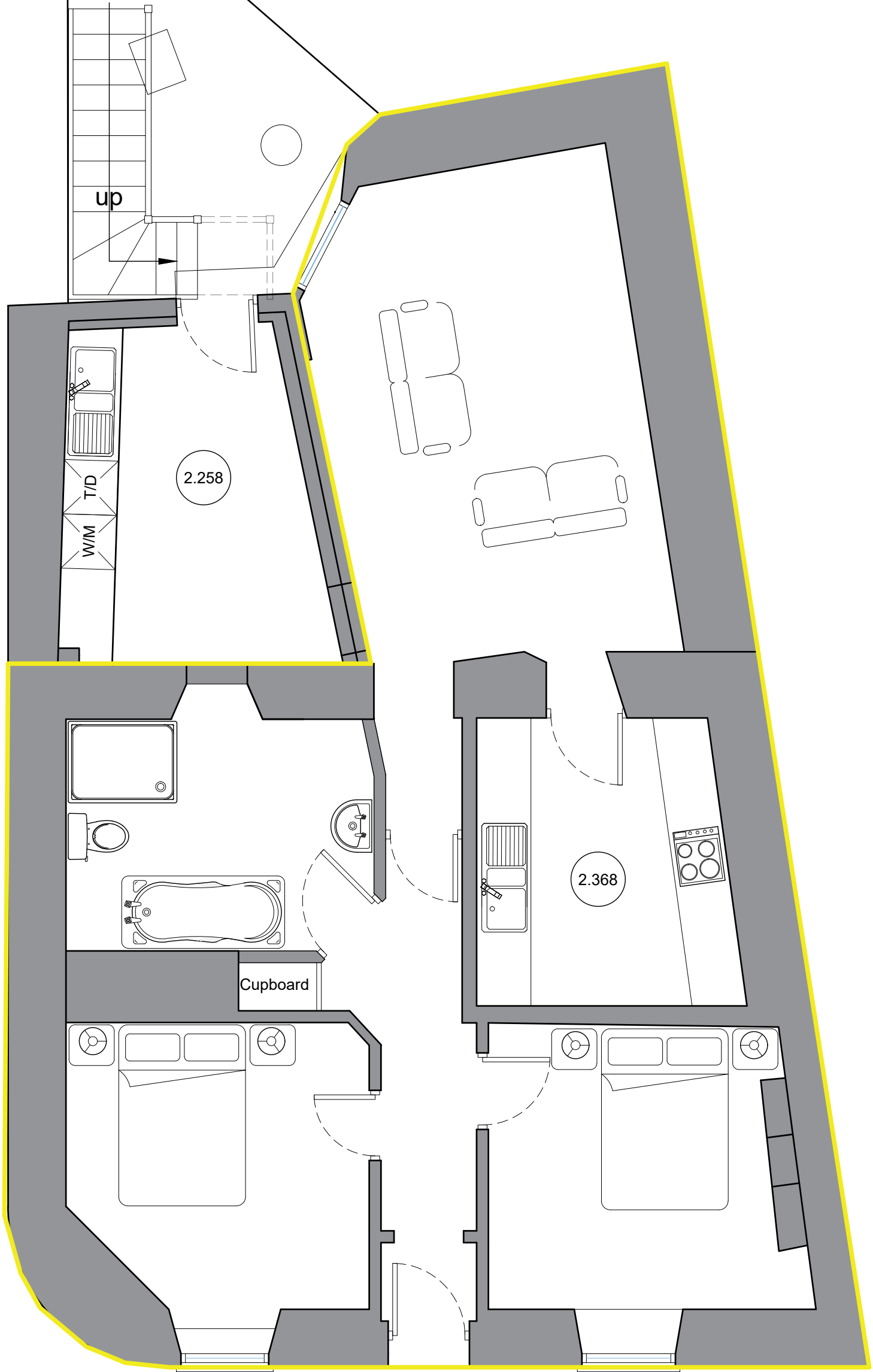
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Mr & Mrs Greene
Freesia, The Parade, St Marys
Isles of Scilly
TR21 0LP

PROJECT
Internal alterations and change of use

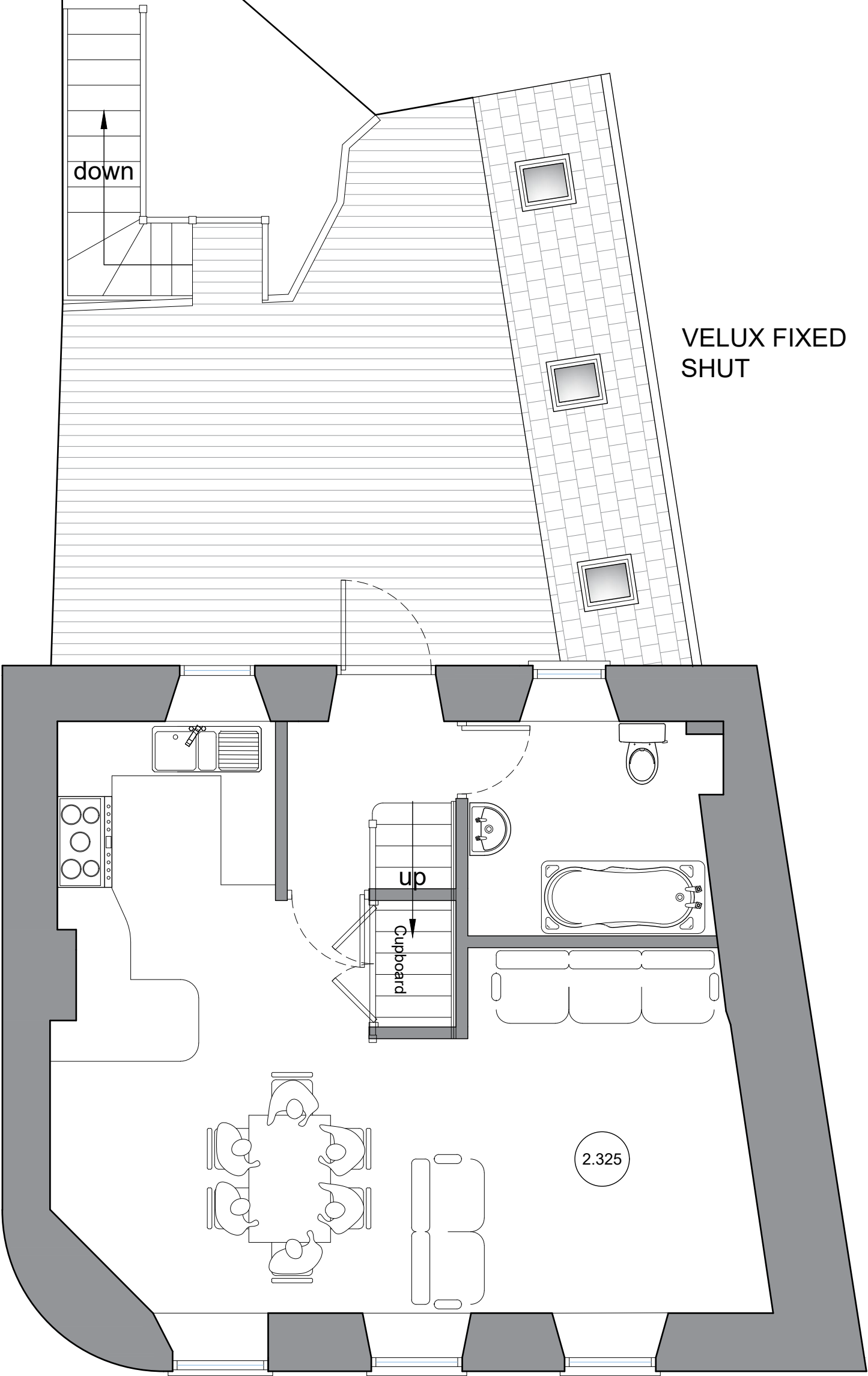
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PLAN N°	02	SCALES	1:50, 1:100, 1:200 & 1:1250 @ A1
4042	C	DATE	June 2021
		DRAWN	DN

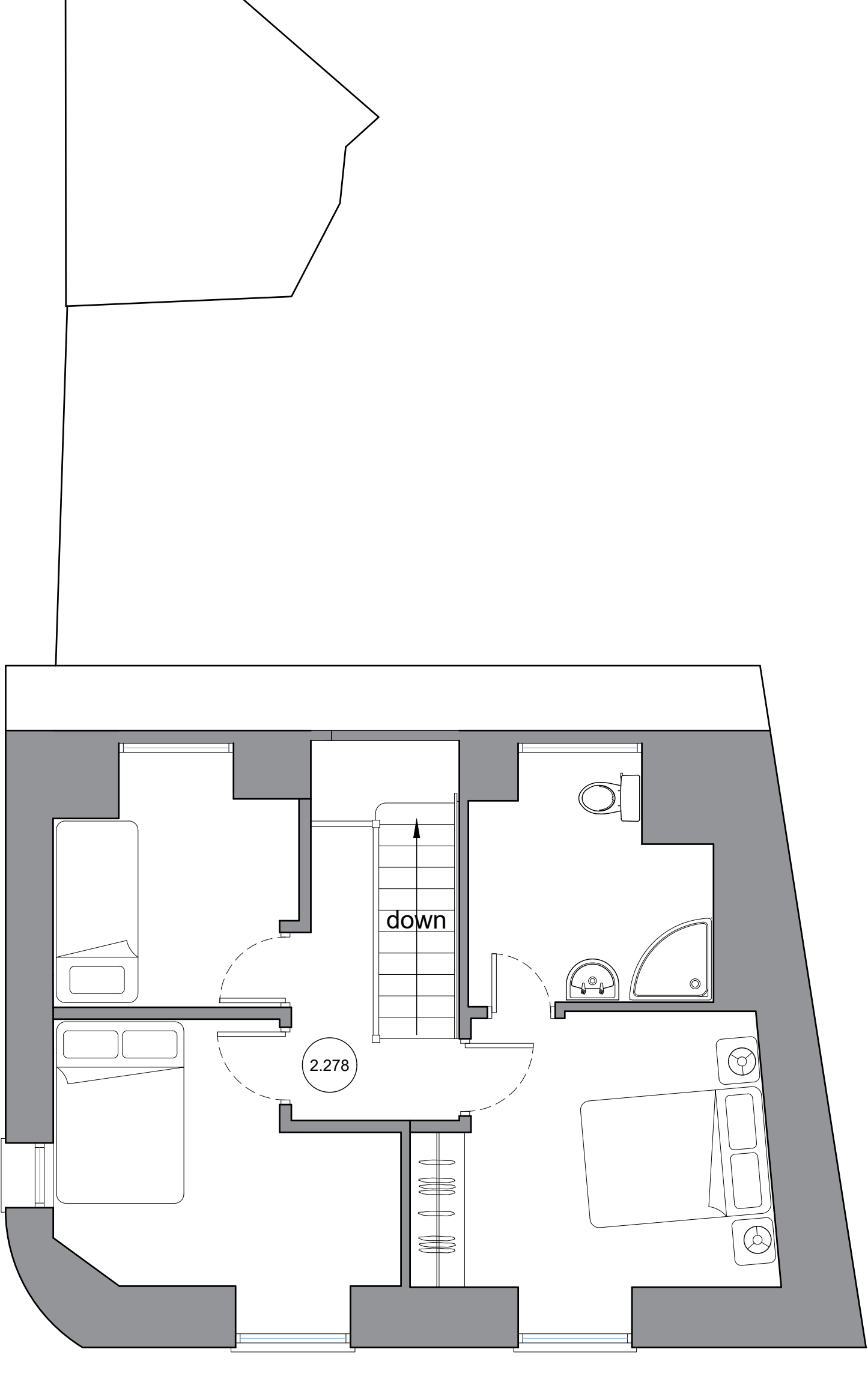


PROPOSED GROUND FLOOR PLAN 1:50

1-50



PROPOSED FIRST FLOOR PLAN 1:50



PROPOSED SECOND FLOOR PLAN 1:50

**Freesia Guesthouse
The Parade, Hugh Town
St Mary's, Isles of Scilly
NHLE 1219064**

APPROVED

By Lisa Walton at 10:53 am, Jun 16, 2022

Heritage Statement



Charlie Johns, Heritage Specialist

**Freesia Guesthouse
Hugh Town
St Mary's, Isles of Scilly
NHLE 1219064
Heritage Statement**

Client	Joe Hayes
Report Number	2022/2
Date	28 February 2022
Status	Final
Report author	Charlie Johns
Planning references	P/21/078/LBC; P/21/077/COU

Charlie Johns
Heritage Specialist
Sunset, Trewennack, Helston, Cornwall, TR13 0PL
Tel: (01326) 572024
Email: bradpeverill@aol.com

Acknowledgements

This study was commissioned by Joe Hayes and carried out by Charlie Johns, Heritage Specialist.

Help with the historical research was provided by Jo Sturgess of Cornwall Archaeological Unit. Distribution maps of heritage assets were prepared by Lauren Hatt, Historic Environment Technical Assistant, Cornwall and The Isles of Scilly Historic Environment Record, Cornwall Council, Kresen Kernow, Redruth.

The views and recommendations expressed in this report are those of Charlie Johns, Heritage Specialist, and are presented in good faith on the basis of professional judgement and on information currently available.

Charlie Johns is a Member of the Chartered Institute for Archaeologists (MCIfA no. 381).

Front cover: Freesia Guest house with Bordeaux to the left and Nornour to the right.

© Joe Hayes and Charlie Johns 2022 (unless otherwise stated)

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Abbreviations

CIfA	Chartered Institute for Archaeologists
HE	Historic England
HER	Cornwall and the Isles of Scilly Historic Environment Record
HLC	Historic Landscape Character
LPA	Local Planning Authority
MCO	Monument number in Cornwall HER
NGR	National Grid Reference
OS	Ordnance Survey

1 Summary

In January 2022, Charlie Johns, Heritage Specialist, was commissioned by Joe Hayes to carry out a Heritage Impact Assessment to support applications for planning permission and Listed Building Consent for change of use of guest house to self-contained holiday let with owner's accommodation and associated works at Freesia Guesthouse, The Parade, Hugh Town, St Mary's, Isles of Scilly, TR21 0LP. The results are presented in this Heritage Statement.

Formerly known as Stanmore House, Freesia is a Grade II Listed Building (NHLE 1219064) and lies within the Isles of Scilly Conservation Area. The listing description describes Freesia as a two-storeyed, granite-built house of early 19th century date with a mid-20th century rear addition and late 20th century roof tiles. The interior of the building was extensively altered when it was converted into a guesthouse in 2003–4 and the only visible historic feature is an ornate staircase providing access to the first and second floors.

The HIA considered the wider historic context of Freesia but concentrated specifically on the heritage impacts of three proposals:

1. to remove the chimney stack from the western end of the building for structural / health and safety reasons;
2. to remove the corresponding chimney breasts from the first and second floors for potential structural reasons; and
3. to remove the existing period staircase because it does not comply with current building regulations.

The original chimney stack is built into the roof at the western gable. It appears that an additional chimney stack might have been added at right angles to this, along the ridgeline of the roof. The heritage impact of the proposal is assessed to be **Negative/Minor (Less than Substantial) Harm** but could be mitigated by construction of a replacement chimney in which case the impact would be **Positive/Substantial Benefit**.

The chimney breasts are concealed by stud walls so their condition is not known. It is possible that these chimney breasts are secondary and conceal an original fireplace in the thickness of the wall. This heritage impact of their removal is assessed as **Negative/Unknown**, but could be mitigated by a programme of historic building recording and preservation of the (putative) original fireplace (**Positive/Unknown**).

The staircase is said to have been purchased from another house but there is no supporting information for this. It is the right period for the house and accommodates the rise to the first and second floors in half-turns, suggesting that, on balance, it is an original feature. If it no longer seems to fit properly that is due to the extensive changes that have been made to the interior of the house. The staircase is judged to be of **Considerable Significance**. The heritage impact of removing the staircase is assessed as **Negative/Moderate (Less than Substantial) Harm** i.e., a major element of the heritage value of the asset (Freesia/Stanmore House) will be harmed whilst retaining enough value to justify its identification as a heritage asset.

Paragraph 196 of The National Planning Policy Framework (2018) states that 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use'.

As with the chimney breasts, it is considered the harmful impacts of removing the staircase could be mitigated by a programme of historic building recording, secured by a condition attached to Listed Building Consent and planning permission.

Relevant applications to the Local Planning Authority are P/21/060/LBC and P/21/059/HH for works including the removal of an original staircase of early 19th date, which were granted in October 2021 subject to a condition for historic building recording.

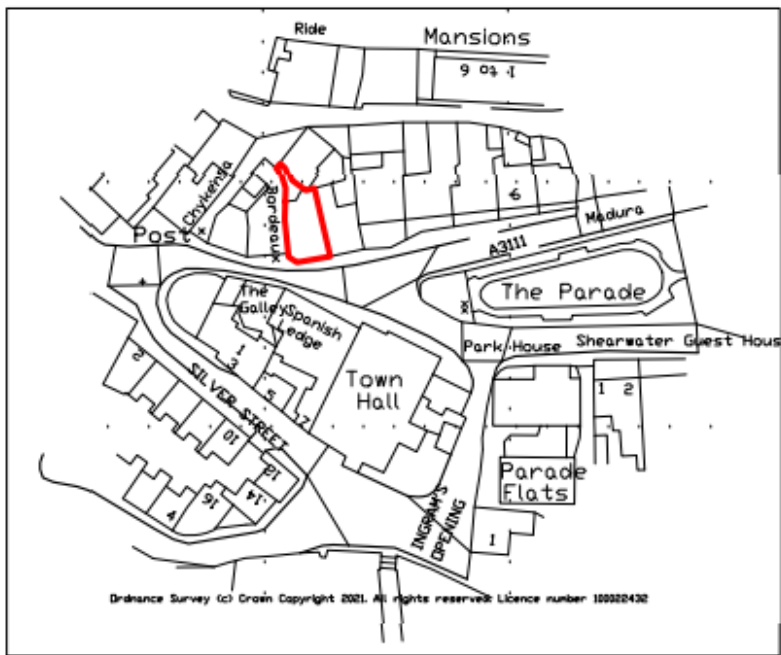
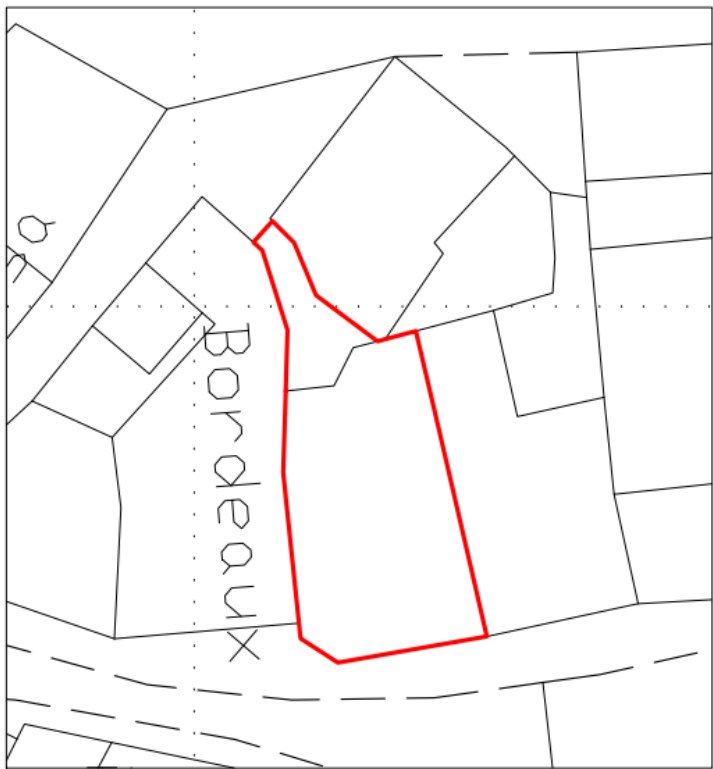


Fig 1 Location map.



EXISTING SITE PLAN 1:200



Fig 2 Block plan.

2 Introduction

2.1 Project background

This Heritage Statement presents the results of a Heritage Impact Assessment (HIA) commissioned by Joe Hayes to support applications P/21/078/LBC and P/21/077/COU for Listed Building Consent and planning permission change of use of guest house to self-contained holiday let with owner's accommodation and associated works at Freesia Guesthouse, The Parade, Hugh Town, St Mary's, Isles of Scilly, TR21 0LP.

2.2 Methodology

2.2.1 Policy and guidance

This report takes account of various relevant aspects of national and local planning policies and guidance including:

- Government guidance on conserving and enhancing the historic environment;
- The National Planning Policy Framework (NPPF) (2018) — specifically policies for 'conserving and enhancing the historic environment' (paragraphs 184-202) (see Appendix 1);
- The Isles of Scilly Local Plan (2015–2030) — specifically Policies SS1 Principles of Sustainable Development, SS2 Sustainable Quality Design and Place-Making and SS3 Re-use of Buildings (see Appendix 1);
- Ancient Monuments and Archaeological Areas Act (1979); and
- Planning (Listed Buildings and Conservation Areas) Act (1990).

2.2.2 Scope

This assessment is focussed on heritage assets identified within the proposal area itself (hereafter referred to as the 'site'). The assessment also identifies relevant heritage assets within a wider 0.1km radius buffer around the site (Figs 3 and 4) and considers potential impacts upon designated heritage assets over a wider area (hereafter referred to as the 'study area').

2.2.3 Aims

The primary aims of this study are to assess the following:

- The resource of identified heritage assets, both designated and non-designated, within the study area that are relevant to the site;
- The significance of the identified and potential heritage assets and resource within the site;
- The impacts of the proposal upon the significance of heritage assets and the settings of designated heritage assets within the study area;
- Appropriate measures for mitigating impacts upon the heritage assets and resource within the study area.

2.2.4 Desk-based assessment

This study was undertaken in accordance with the Chartered Institute for Archaeologist's (CIfA) guidance on undertaking desk-based assessment (CIfA 2017).

Significance

In determining the significance of heritage assets CAU have followed guidance issued by English Heritage (now Historic England) in 2008. The following criteria have been used to measure significance:

- Evidential – 'the potential of a place to yield evidence about past human activity';
- Historical – 'derives from the ways in which past people, events and aspects of life can be connected through a place to the present';
- Aesthetic – 'derives from the ways in which people draw sensory and intellectual stimulation from a place';
- Communal- 'derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory'.

Settings

In evaluating aspects of the settings of heritage assets the assessment followed Historic England's guidance on the subject (2017).

Sources

During the desk-based assessment historical databases and archives were consulted in order to obtain information about the history of the site and study area and the structures and features that were likely to survive. The main sources consulted were as follows:

- Cornwall and Scilly Historic Environment Record (HER);
- the National Heritage List for England (a searchable database of designated heritage assets, excluding conservation areas);
- Cornwall Council's mapping service for Conservation Areas;
- Accessible GIS data;
- early maps, records, and photographs (see Section 7.1).
- published histories (see Section 7.2).

2.2.5 Site visit

A site visit was undertaken on Friday 11th February 2022 by Charlie Johns BA MCIfA. A basic photographic record was made of the building elements affected by works and notes on the recent history of the building taken during conversation with Joe Hayes.

3 Heritage resource

This section presents a summary of the historical development of the study area, provides detail of designated and non-designated heritage assets that have been identified, identifies potential heritage assets that may lie within the site, and reports on previous archaeological and historical work in the study area.

3.1 Location

Freesia Guesthouse is located on the north side of The Parade, Hugh Town, St Mary's, Isles of Scilly (NGR SV 90300 10541 (Figs 1 and 2). This location is just beyond the south-east end of Hugh Street, where the road branches to the east and narrows. This road, which is marked as the 'A3111' on the OS Landline mapping passes along the north side of The Parade gardens and then becomes 'Lower Strand' (see below Section 3.5 Undesignated heritage assets).

3.2 Historic Landscape Character

The study area is characterised as 'Settlement' in the Isles of Scilly Historic Landscape Assessment (Land Use Consultants 1996) — see Section 3.6 below for a summary of the development of Hugh Town.

3.3 Designated heritage assets

3.3.1 Scheduled monuments (SM)

There are no scheduled monuments within the study area. The nearest scheduled monuments to the site are the 'post-medieval breastwork, curtain wall and associated defensive structures on the periphery of The Garrison' (NHLE 1018370) located approximately 200m to the west and the 'round cairn with funerary chamber on Buzza Hill, 45m west of Buzza Tower' (NHLE 1010174) located approximately 300m to the south-east.

3.3.2 Listed buildings (LB)

There are no Grade I or Grade II* listed buildings within the study area.

In addition to Freesia, there are 25 Grade II listed buildings within the study area (Fig 3). Immediately to the west, 'Bordeaux' (NHLE 1328848) shares a party wall with Freesia, next to Bordeaux is 'Parade House' (NHLE 1141193); both these houses are of similar date to Freesia.

Further to the west the 'South West Electricity Board' building (NHLE 219011), the 'House top the west of the South West Electricity Board (NHLE 1141191), the ten listed buildings on the south-west side of Hugh Street – the Richardson and Gill terrace of c1926 (with Mumford's on the end) and Post Office of 1897 (NHLE 1328825 and NHLE 1328825) are hidden from view of Freesia by Bordeaux, Parade House and a bend in the road. The Old Wesleyan Chapel (NHLE 1141217) is, in turn hidden by these buildings.

To the east the seven listed buildings along the north side of the A3111: 'Evergreen Cottage and Pelistry Cottage' (NHLE 1291708); 'Parkside' (NHLE 1141190); 'Madura and Parkview' (NHLE 1328842); and the Custom House and Strand House' [the Scillonian Club] (NHLE 1141180) are hidden from view of Freesia by the house named 'Nornour' and the continuing bend of the road.

Directly opposite Freesia is 'Spanish Ledge Guest House and House attached at west' (NHLE 1141195), next to these are the 'Town Hall' (NHLE 1219066), 'Parade Cottage' (NHLE 1141192) and the 'Outbuilding approximately 2 metres south of Parade Cottage' (NHLE 1291695). The last two are screened from view of Freesia by the Town Hall, which in turn is partially screened by Spanish Ledge Guest House.

Approximately 30m to the south west of the site is the Bishop and Wolf public house (1328843) which was formerly the Godolphin steward's house.

On the east side of the public gardens is the 18th century Rivera House (1219007).



Fig 3 Map showing listed buildings within the study area of 0.1km around Freesia.

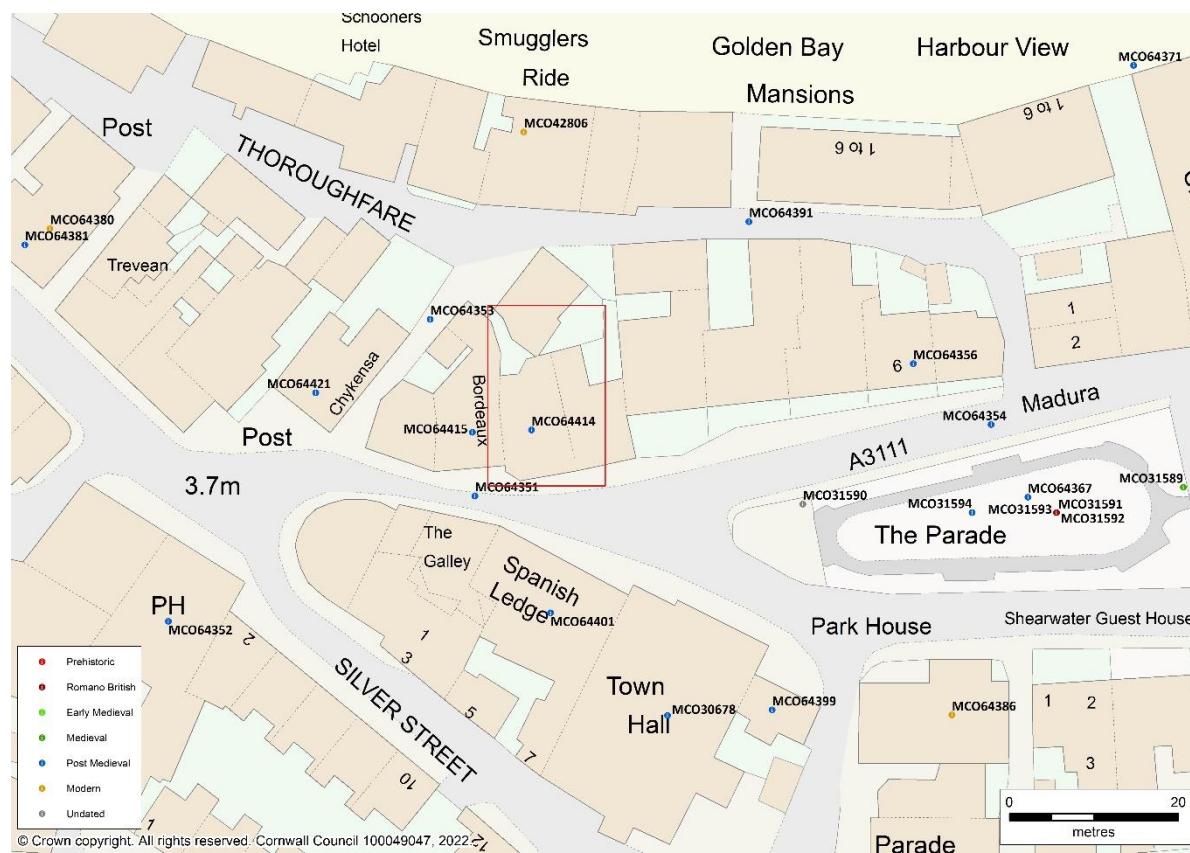


Fig 4 Map showing undesignated heritage assets within the study area of 0.1km around Freesia.

Finally, there are a number of listed buildings on the south side of Church Street: 'Homeleigh and attached railings' (NHLE 1291690); 'Shearwater and attached railings' (NHLE 1141194); 'Shalom, Trevea and Wingletang' (NHLE 1141197); 'Crebinnick House adjoining to east, Hazeldene, Thurleigh and Raveen' (NHLE 1218655) all of which have an oblique view across The Parade garden to Freesia

3.4 Conservation Area

The whole of the Isles of Scilly is a Conservation Area. A conservation area is an area which has been designated because of its special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance.

The Planning (Listed Buildings and Conservation Areas) Act (1990) requires that 'no person shall execute or cause to be executed any works for the demolition of a listed building or for its alteration or extension in any manner which would affect its character of a building of special architectural or historic interest, unless the works are authorised'.

3.5 Undesignated heritage assets

The HER records 16 undesignated heritage assets within the study area (Fig 4). Five of these are unlisted buildings: the Co-Operative Store (MCO64420); Barclays Bank (MCO64379); the Isles of Scilly Steamship Company office (MCO64380/ MCO64381); and Park House residential accommodation (MCO64386)

Undesignated heritage assets also include the narrow road in front of Freesia (MCO64351; see below Section 4.6 Site history). There is also the post-medieval alley linking Thoroughfare to the area in front of the Bishop and Wolf pub; the curtilage of Freesia back onto this alley (MCO64353). There is also Thoroughfare itself which passes to the rear of Freesia. Also known as Blood Alley, Thoroughfare represents a former post-medieval back lane that also provided access to working buildings along the shorefront (MCO64391). To the north west, on Town Beach, is a post-medieval slipway (MCO58046).

Approximately 25m north of the site is the site of a World War II pillbox within one of the buildings fronting the bay (MCO42806); the site of another World War II pillbox lies 100m to the north west at the rear of Hugh Street, also within one of the buildings fronting the bay (MCO42805). Approximately 50m south east of Freesia is The Parade (MCO). Now an enclosed public garden this was formerly a 19th century parade ground (MCO31594; MCO64367). There are a number of querns and perforated and grooved boulders found on St Mary's, but otherwise unprovenanced, which now lies in the gardens (The Parade) adjacent to the Town Hall in Hugh Town. In 1978, the OS field worker found the following stones around the edge of the park: one half of a quern, the remains of a saddle quern, a cup-marked stone, the remains of two probable bowl querns; and one or two fragments of possible querns (MCO31592). At the eastern end of the gardens are the remains of three medieval cross shafts – not *in situ* (MCO31589). In the north-west corner of the Park gardens at Hugh Town is said to be a smooth rounded stone of uncertain date, 0.4m high and 0.5m diameter with a hole in the top, somewhat resembling a small barrel (MCO31590).

3.6 Site history

Hugh Town, on the largest island of St Mary's, is the only proper 'town' in Scilly. The present town owes its origins to the construction of Star Castle and associated structures in the 1590s and in c1601 of a quay on the sheltered northern side of the island directly below the gateway to the military complex (Cox and Thorp 1993; Bowden and Brodie 2011).

By the mid-18th century Hugh Town had developed beyond its early primary role as a service centre for the Garrison to become a central place for the whole of Scilly. It was the Customs port and profited from servicing vessels sheltering in the Pool from bad weather or adverse winds. The quay was refurbished in 1740 and in 1749–51.

A 1756 engraving of Hugh Town and St Mary's Road by William Borlase shows two roads leading eastwards from the town. One of these would later become Church Street and the

other The Strand, while the triangular area formed by the fork in the road would become The Parade (Fig 4).

The extent of Hugh Town in the 1790s is depicted on a water colour painting (Fig 5). The town remained small — the population in 1800 was only 350 — until the 19th century when, under the proprietorship of Augustus Smith, a new phase of building expanded the settlement considerably. The economy diversified to include shipbuilding and maritime trade and, towards the end of the century, tourism and the export of flowers and bulbs (Kirkham 2003, 1).

The lease of Scilly taken up in 1834 by Augustus Smith required completion of a new church and a large extension to Hugh Town quay. Both were achieved before the end of the 1830s, the New Quay being extended out to Rat Island with a monumental entranceway built on Old Quay, and marked the beginning of a significant period of change. The curved corner to left (west) of the Freesia and the coursed granite blocks of the front elevation are somewhat reminiscent of the architecture of these monumental piers.

The St Mary's stonemason and poet Robert Maybee, born in 1810, recalled the period following Smith's arrival in Scilly: *'It was the time the new pier was building . . . and the new church . . . and most of the big houses were being built at the same time'* (Maybee 1884, 15). Freesia, previously called 'Stanmore House', presumably after a person, family or a place, and is likely to have been built at this time.

In 1850 the Revd I W North wrote: *'The houses in Hugh Street are very old and many of them certainly wear a somewhat forlorn and dreary aspect; but as the visitor advances towards the church and sees those more recently built on the Parade and in Buzza Street, towards Porcrasa (sic), he will be impressed with a widely different feeling. He will find himself surrounded by every token of cheerfulness and comfort and when he learns that they have been built by the inhabitants themselves, and are in the majority of instances held of the Proprietor at a trifling ground rent, for forty years, he will draw the conclusion, which longer acquaintance with the place will strengthen and confirm, that the Isles of Scilly have been favoured with an unusual measure of prosperity'* (North 1850, 71–2).

Unlike the Cornish tithe maps, the c1840 Tithe Map for St Mary's does not show anything on the island in detail because of the monopolistic landownership of Scilly's two main islands. The Parade is, perhaps, first mapped on an 1862 Admiralty plan of Hugh Town (Fig 5).

The mid-late 19th century census returns for St Mary's do not give house names or numbers but from 1851 they do give the name of the street or area, starting with The Garrison and working eastwards (the 1841 census return only gives St Mary's as the place of residence).

Freesia is the fifth building along the north side of The Parade from the west. The family in the fifth entry for The Parade in the 1851 census was: Francis T Hicks, Master Mariner, aged 34, his wife Julia, aged 29 and their three children Julia, 6, Eliza 4 and Francis, 2. The occupants in the fifth entry for The Parade in the 1861 census is: Elizabeth Taylor, Head, Independent, aged 85; and Elizabeth Bosanko, an unmarried visitor from Penryn, Cornwall, aged 26. In 1871 it was Francis C Collett, Head, aged 68, a superannuated coastguard originally from Pilleigh, Cornwall; his wife Sarah Collett aged 58, originally from Polperro; and their son Richard who was bootmaker on Tresco. The entry for 1881 was Constance Dawes, 68, widow of a schoolmaster, St Mary's and her sister Elizabeth Bluett, 59. In 1891 it was Susanna Rogers, widow, 48, Lodging House Keeper from Faversham in Kent; Elizabeth Rogers daughter 23, Lodging House Assistant, Clara C Rogers, daughter, 20, Lodging House Assistant and Joseph I Rogers, son, 19.

While we cannot be absolutely sure that these were the occupants of Stanmore House, it provides a valuable snapshot of the demographic of The Parade in the second half of the 19th century. It is interesting to note that Robert Maybee, described as unmarried, aged 48 and labourer was a lodger in another house on The Parade in 1861.

Stanmore House is shown on a Gibson photograph of c1887 looking north west across the Parade when it was still an open space (Over 1993, fig 142). Two other photographs

show Stanmore House in the early 20th century after the Parade had been enclosed as a garden (Fig 9; Over 1993, fig 128).

Advertisements in the Scillonian magazine from the mid-1960s show that the building was occupied by 'Your Island Decorators Metcalfe and Molyneux, 16 Sally Port & Stanmore House – phone Scillonia 249 for the Most Up-to-Date 1966-7 Wallpaper Patterns; Sandersons, Crown and John Lines. Agents for Dulux & Paints if the Leading Firms'.

More recently it provided accommodation for staff from St Mary's Hall Hotel and was converted into a guesthouse in the winter of 2002-3 (Joe Hayes, pers comm).

3.7 Previous archaeological and historical work

Scilly's architectural heritage has been summarised by Laws (1980), Madden (1996), and most recently by Berry (2012) for the Isles of Scilly Historic Environment Research Framework (Johns 2019). Perhaps the most salient study is the Cornwall and Scilly Urban Survey report for Hugh Town (Kirkham 2003) which considers the potential for heritage-led regeneration of the town.

3.8 Freesia – summary of heritage assets

Freesia was listed Grade II on 12 February 1975 as Stanmore House, The Parade (NHLE 1219064). The listing description reads:

'House. Early C19. Coursed granite blocks; late C20 interlocking tiles to half-hipped roof; rendered end stack. Double-depth plan with central entrance hall. 2 storeys; 3-window first-floor range. Semi-circular arch with voussoirs over mid C20 door with plain fanlight. Granite lintels over 8/8-pane sashes. Curved corner to left (west). Mid C20 rear addition. Interior not inspected.'

A central arched window, with dressed granite voussoirs and jambstones, lighting the staircase on the first floor of the rear elevation has been converted into a doorway opening on to an area of decking laid on the roof of the ground floor extension (Fig 14). Inside are three steps leading up this doorway which are a modification of the window sill.

At the front are 6/6-pane horned sash windows and on the first floor 2/2-pane horned sash windows; the dormer windows are smaller 6/6-pane horned sash windows. All in good condition and dating to the 2002-3 refurbishment (Fig 11).

Dormer windows were added to the second-floor front and rear elevations during the 2002-3 guesthouse conversion. These are clad with white-painted wood panelling.

The interior was inspected on 11 February 2022 as part of this assessment. All of the interior rooms have early 21st century plastered stud walls and modern flooring. The ceilings are standard plaster finish on foil-back plasterboard with insulation behind. The mid-20th century ground floor extension to the rear of the building is currently the owners' living accommodation.

The only visible period feature is the ornate staircase (Figs 15-20). The staircase is white-painted with varnished handrail. Moulded side panels. Moulded newel posts. Moulded balusters, two per tread, but plain stick balusters on the final half-turn leading up to the second floor (quite possibly once the servants' quarters) which terminates in a moulded pendant. On each flight the smooth varnished handrail ends in a ramped-rail which is secured to the straight part of the handrail with a joint and a screw and to the top of the newel post with a screw. Ramped-rails date from the late 18th and continue through the first half of 19th century (Jo Sturges pers comm). The staircase has been repaired on occasion, one of the moulded balusters has been replaced with a plain stick and there is a metal brace on the ramped rail at ground floor level.

4 Statement of Significance

Freesia lies within the St Mary's Conservation Area and is a Grade II Listed Building, i.e., a building which has been designated because of its special architectural or historic interest and is by definition a heritage asset of national importance.

At Freesia, however, that significance has been largely compromised by the modern renovations which have removed or covered all original interior features except for the period staircase.

The staircase is said to have been purchased from another house, where building works were being carried out, more than 20 years ago (Joe Hayes, pers comm). However there is no further information about the provenance or supporting documentation so this account may be apocryphal. The staircase is the right period for the house and accommodates the rise to the first and second storeys in half-turns, so on balance it is more likely to be original than not. If the staircase does not appear to fit properly now or is bodged in places that is because of all the recent changes to the interior of the house. It is somewhat ironic that, within a listed building, the only surviving period feature now appears to be out of context.

When Historic England's guidance on measuring the significance of heritage assets is applied to the staircase it is judged to be of **Considerable Significance**: it a good and representative example of an early-mid 19th century staircase from a big house, of which there can only be a finite number in Scilly. As the only apparent surviving interior historic feature it makes a major contribution to the overall significance of Freesia.

- Evidential – The staircase has the potential inform about early 19th century carpentry, construction techniques and aesthetic styles.
- Historical – The staircase holds historic illustrative value of the period 1835-8. This was an exciting and prosperous time in Scilly's history, shortly after Augustus Smith became Lord Proprietor, the new pier and church and the big houses on The Parade were being built and the economy diversifying to include shipbuilding and maritime trade.
- Aesthetic – The staircase is of its period, functional but quite ornate and visually pleasing, with ramped rails, moulded panels, newel posts and balusters.
- Communal – The staircase is a communal space within the house and will feature in the collective experience of many people to have lived or stayed there. The fact that care has been taken to repair it shows that people have valued it in the past.

5 Assessment of potential impacts

5.1 Summary of proposed works

The scope of the proposed building works are set out in the 'Heritage Assessment, Design and Access Statement' by NB Architectural Services Ltd which was submitted with the applications.

5.1.1 Proposed exterior works

The proposed exterior works entail removal of ground floor bedroom window and installation of door to new kitchen and to provide access and construction of new staircase from ground level to existing balcony giving access to owner's accommodation.

It is also proposed to remove the chimney from the western end of the property. Although this is not mentioned in the 'Heritage Assessment, Design and Access Statement' by NB Architectural Services Ltd, it is outlined in the Preliminary Roost Assessment (Faulconbridge 2021).

There are chimneys at either gable end of the building. The chimney to the front right (east) of the building will be retained and kept as it is. The chimney to the left-hand (west) side of building would be removed.

The original chimney is built into the roof at the western gable and it appears that an additional chimney might have been added at right angles to this, along ridgeline of the roof. The original chimney passes through the roof of the adjoining property (Bordeaux) which is one-storey lower in pitch. The chimney itself is of brick-built construction with concrete render – this render covers all external aspects and is in good condition. There are three chimney pots – two of which are capped whilst the western-most (on the original chimney) appeared to be uncapped.

It is necessary to remove the chimney because cracks have appeared in the chimney stack which year by year are worsening, it is inevitable that eventually the chimney will collapse or debris will fall onto the roof of Bordeaux and roll off this roof and directly onto the pavement. It is a very busy street and there are concerns for the health and safety of passers-by.

5.1.2 Proposed interior works

The ground floor alterations entail: removal of non-original studwork between existing lavatory and ensuite; upgrading existing balcony ceiling to provide fire resistance and sound insulation; removal of staircase and installation of replacement to first and second floor.

The first floor alterations entail: removal of cupboard between ensuite and bedroom; ensuite to become family bathroom; removal of stud wall between bedrooms and removal of masonry (i.e. chimney breast) between existing ensuite and bedroom to form an open plan lounge, kitchen and dining room.

The second floor alterations entail removal of masonry (i.e. chimney breast) between bedroom and bathroom to provide increased bedroom area.

There is a considerable amount of penetrating damp through the chimney breast, and there is concern that any condensation or a possible leak will cause damage to the structural integrity of the external wall.

5.2 Criteria for grading of harm

The impacts of development on the historic environment may include positive as well as adverse effects. For the purposes of assessment these are evaluated on an eight-point scale:

Positive/Substantial Benefit

Positive/Moderate Benefit

Positive/Minor Benefit

Neutral

Negative/Negligible (Less than Substantial) Harm

Negative/Minor (Less than Substantial) Harm

Negative/Moderate (Less than Substantial) Harm

Negative/Substantial Harm

with the additional **Negative/Unknown** used where an adverse impact is predicted or **Positive/Unknown** where a beneficial impact is predicted but where, at the present state of knowledge, its degree cannot be evaluated satisfactorily.

The assessment also distinguishes where possible between permanent and temporary effects, or between those that are reversible or irreversible, as appropriate, in the application of the scale of impacts.

To ensure that the judgements given in this report are as clear as possible this assessment uses the following definitions to develop a four step grading of harm.

Substantial Harm	The change seriously affects a key element contributing to the significance of the asset, going to the heart of its significance.
Moderate (Less than Substantial) Harm	A major element of the heritage value of the asset is harmed whilst retaining enough value to justify identification as a heritage asset.
Minor (Less than Substantial) Harm	Some heritage values are harmed but these do not contribute a major element of the significance of its asset, and/or the change is offset by enhancement or revelation of other heritage values.
Negligible (Less than Substantial Harm)	Minor negative harm to the heritage values of a place that are neither substantive or primary to its overall significance.

5.3 Summary of potential impacts

5.3.1 Exterior works to the rear of the property

The works to the rear of the property only concern the modern ground floor extension. The rear of the property is effectively screened from Thoroughfare by a gate and restricted alleyway access (Fig 11). The heritage impact on the setting of identified heritage assets and the Conservation Area is assessed as **Neutral**.

5.3.2 Removal of chimneys at the western end of the building

The proposed works will entail the removal of the chimneys at the western end of the building (Fig 13). This will impact upon the visual appearance of the front (south) and rear (north) elevations and the gable end of the building and consequently upon the roofscape of the Conservation Area. The heritage impact is assessed to be irreversible **Negative/Minor (Less than Substantial) Harm** but could be mitigated by construction of a replacement chimney in which case the impact would be **Positive/Substantial Benefit** (see below Section 6.1).

5.3.3 Removal of chimney breasts on the first and second floors

The proposed works would entail the removal of chimney breasts on the first and second floors (this is the masonry between existing ensuite and bedroom on the first floor and between bedroom and bathroom on the second floor mentioned the 'Heritage Assessment, Design and Access Statement' by NB Architectural Services Ltd (2021).

The chimney breasts are concealed by stud walls and their condition is unknown (Figs 15 and 16). They may be secondary features and conceal original fireplaces built into the thickness of the wall (which could be preserved). This heritage impact of their removal is

assessed as irreversible **Negative/ Unknown** if the (putative) original fireplaces could be preserved it would be **(Positive/Unknown)**.

5.3.4 Removal of period staircase

Ordinarily the presumption would be in favour of retaining the period staircase (Figs 17–20) and incorporating it in the new design. However, this is not possible because it does not comply with current building regulations and there are some very awkward areas with restricted headroom. The landing is not square and has a skewed step. The junction of the stairs and the first floor door (originally a window) is particularly awkward and dangerous, when the door is opened and one is immediately faced with three steps.

Therefore, the proposed works entail the removal of the staircase. The heritage impact of this is assessed as irreversible **Negative/Moderate (Less than Substantial) Harm**.

Paragraph 196 of The National Planning Policy Framework (2018) states that 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.'

6 Concluding remarks

This section offers options to reduce or mitigate adverse impacts on the historic resource expected to result from the proposed development. These options are provided for guidance and the actual requirements for archaeological recording will be set by the Local Planning Authority.

6.1 Mitigation by design

A replacement west chimney can be built if the LPA considers that this is required to mitigate against impacts of the proposed to the visual appearance of the building and the roofscape of the Conservation Area.

If original fireplaces are revealed when the chimney breasts are removed they should be preserved and incorporated in the new design.

6.2 Mitigation by record

It is considered that harmful impacts of the removal of the chimney breasts and staircase could be mitigated by programme of historic building recording, to an Historic England level 2/3 standard, secured by a condition attached to planning permission.

Relevant recent applications to the LPA are P/21/060/LBC and P/21/059/HH for works which included the removal of an original staircase of early 19th century date from a listed building and were granted in October 2021 subject to a condition for historic building recording.

7 References

7.1 Primary sources (in chronological order)

Graeme Spence's chart of St Mary's Pool, 1792 (sourced from the UK Hydrographic Office, Taunton, www.ukho.gov.uk).

An original water colour in naïve style annotated 'A view of St Mary's Island (Scilly)', (discovered bound into a copy of Troutbeck's 'Survey of the ancient and present state of the Scilly Isles (published c1794) held at Kresen Kernow, Redruth.

Plan of Hugh Town by Captain George Williams and Mr S J Wells, 1862 (Sourced from the UK Hydrographic Office, Taunton, www.ukho.gov.uk).

Ordnance Survey, c1880. 25 Inch Map First Edition

Ordnance Survey, c1907. 25 Inch Map Second Edition

Ordnance Survey, MasterMap Topography

7.2 Planning documents

Faulconbridge, J, 2021. *Preliminary Roost Assessment (PRA); chimney removal at Freesia Guesthouse, Hugh Town, St Mary's, Isles of Scilly*

NB Architectural Services Ltd 2021. *Heritage Assessment, Design and Access Statement*, Bissoe

7.3 Publications

Berry, E, 2012. *Isles of Scilly combined list of listed buildings List descriptions of listed building with photos extracted from the English Heritage Images of England website supplemented with 2011 photos*, Truro (Cornwall Archaeological Unit)

Bowden, M, and Brodie, A, 2011. *Defending Scilly*, Swindon (English Heritage)

CIfA, 2017. *Standard and guidance for historic environment desk-based assessment*, CIfA, Reading

Cox, J, and Thorp, J R L, 1993. *Star Castle, St Mary's, Isles of Scilly*, Exeter (report to English Heritage by Keystone Historic Buildings Consultants)

English Heritage, 2008. *Conservation Principles, Policies and Guidance*. Swindon: English Heritage

Historic England, 2017. *The Setting of Heritage Assets*. Historic Environment Good Practice Advice in Planning Note 3 (Second Edition)

Johns, C, 2019. *Isles of Scilly Historic Environment Research Framework Updated Resource Assessment and Research Agenda 2019*, Truro (Cornwall Archaeological Unit)

Johns, C, Fleming, F, and Thomas, N, 2016. *St Mary's: Cornish Ports and Harbours: assessing heritage significance, threats, protection and opportunities*, Truro (Cornwall Archaeological Unit)

Kirkham, G, 2003. *Cornwall and Scilly Urban Survey, Historic Characterisation for Regeneration: Hugh Town*, Truro (Cornwall Archaeological Unit)

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Madden, P, 1996. *Scilly's Building Heritage*, Twelveheads Press

Maybee, R, 1884. *Sixty-eight years' experience on the Scilly Islands*, Penzance

North, I W, 1850. *A Week in the Isles of Scilly*, reprinted in 2006 by Cornish Classics, Mount Hawke

Over, L, 1993. *The Isles of Scilly*, Chichester

Troutbeck, J, nd [c 1794]. *A survey of the ancient and present state of the Scilly Islands*, Sherborne

7.4 Websites

<http://www.heritagegateway.org.uk/gateway/> Online database of Sites and Monuments Records, and Listed Buildings

[GENUKI: Isles of Scilly, Cornwall](#) Census returns for the Isles of Scilly

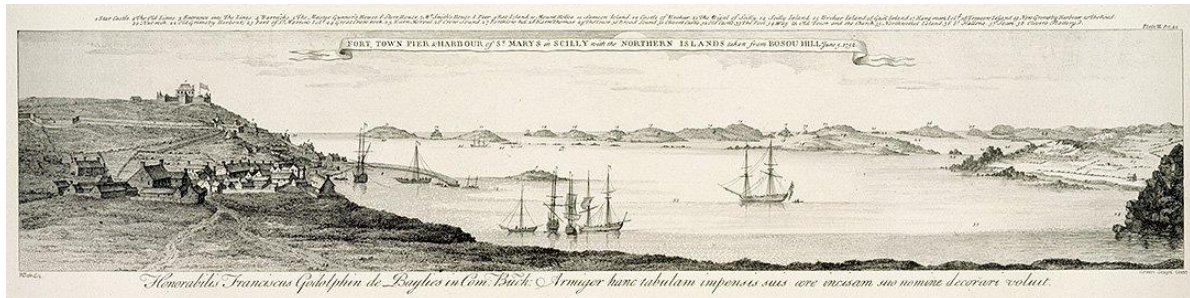


Fig 5 Engraving of High Town and St Mary's Road by William Borlase (1756). Note the two roads leading eastwards from the town. One of these would later become Church Steet and the other The Strand and the triangular area formed by the fork in the road would become The Parade.



Fig 6 An original water colour in naïve style annotated 'A view of St Mary's Island (Scilly)'. The view was discovered bound into a copy of Troutbeck's 'Survey of the ancient and present state of the Scilly Isles (published c1794) held at Kresen Kernow, Redruth. Neither the artist or the date of the illustration are known but it is likely to be bear contemporary with the Troutbeck volume.



Fig 7 Plan of Hugh Town by Captain George Williams and Mr S J Wells, 1862 (Sourced from the UK Hydrographic Office, Taunton, www.ukho.gov.uk).

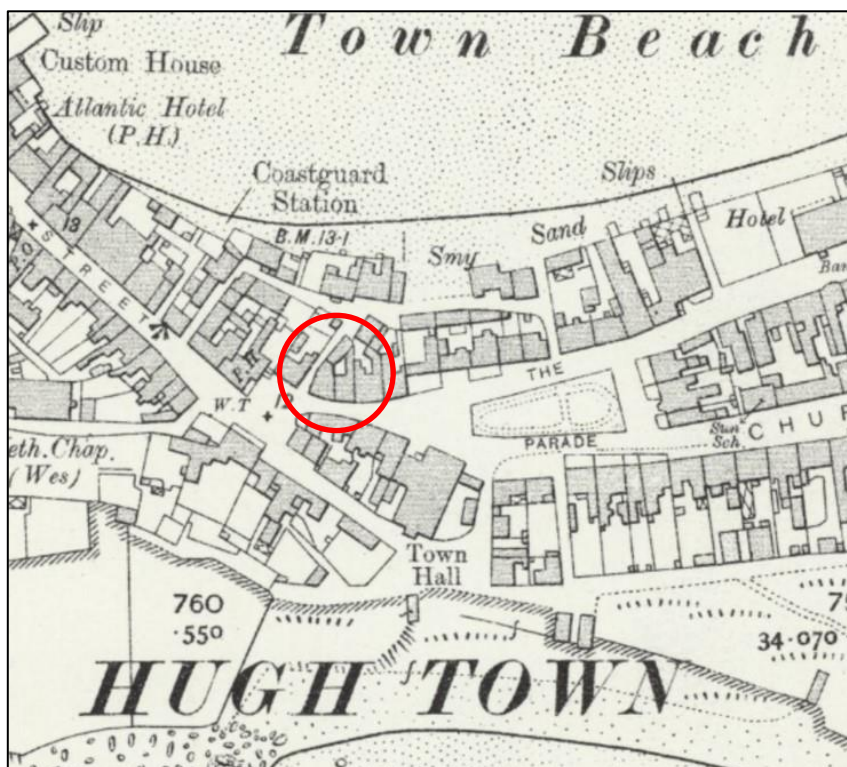


Fig 8 Detail from the OS map, revised in 1906 and published in 1908, sheet Cornwall LXXXVII.11 (Reproduced by permission of the National Library of Scotland).

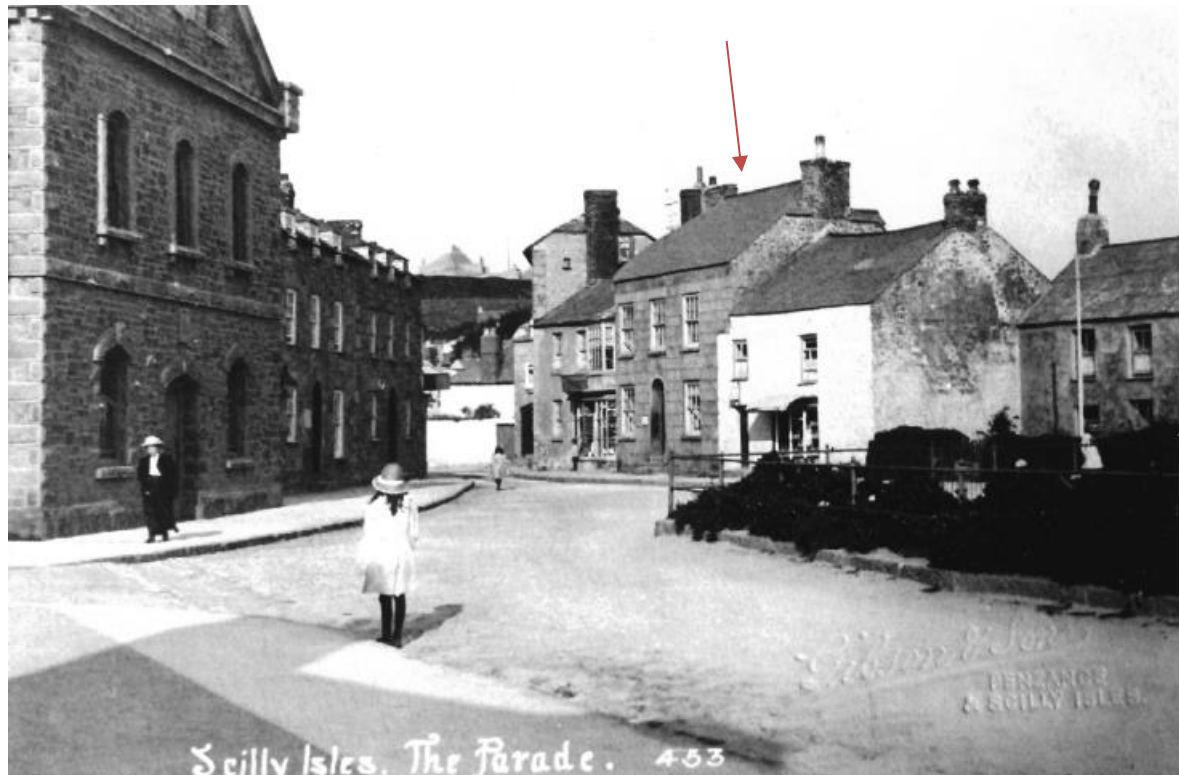


Fig 9 Early 20th century Gibson photo of The Parade.



Fig 10 The Parade today with Freesia hidden behind a tree.



Fig 11 Frontage of Freesia with Bordeaux to the left and Nornour to the right.



Fig 12 The view of the rear elevation of Freesia from Thoroughfare.



Fig 13 The chimneys at western end of Freesia.



Fig 14 The central window of the first floor rear elevation has been converted into a doorway leading on to a decking surface on the roof of the ground floor extension.



Fig 15 Stud wall concealing chimney breast on first floor.



Fig 16 Stud wall concealing chimney breast on second floor.



Fig 17 Ground floor staircase.



Fig 18 Half-turn in the staircase to the first floor.



Fig 19 Staircase on first floor showing decorative moulded panels (photo: Joe Hayes).

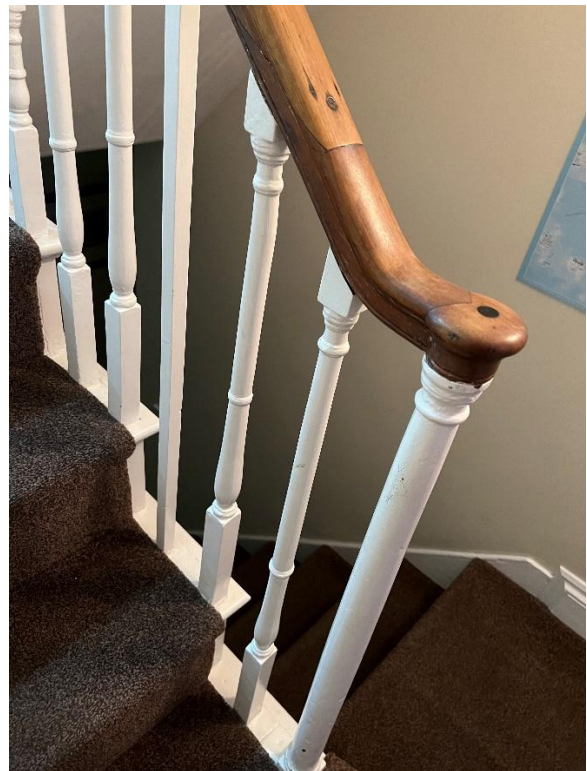


Fig 20 Detail of newel post and ramped rail on first floor (photo: Joe Hayes).

Charlie Johns
Heritage Specialist

'Sunset', Trewennack, Helston, Cornwall
TR13 0PL

(01326) 572024
[*bradpeverill@aol.com*](mailto:bradpeverill@aol.com)

Telephone: 01872 870888

Facsimile: 01872 870500

Email: Enquiries@n-h-b.co.uk

VAT No: 699 1686 61

St Marys House
Point Mills
Bissoe
Truro
TR4 8QZ

HERITAGE ASSESSMENT, DESIGN AND ACCESS STATEMENT



***FREESIA, THE PARADE, ST MARYS, ISLE OF SCILLY, TR21 0LP
FOR MR & MRS GREENE***

Change of use of the guest house to self-contained holiday let with owners accommodation with associated works

GROUND FLOOR ALTERATIONS - REMOVAL OF NON-ORIGINAL STUDWORK BETWEEN EXISTING LAVATORY AND EN-SUITE. UPGRADING EXISTING BALCONY CEILING TO PROVIDE FIRE RESISTANCE AND SOUND INSULATION. REMOVAL OF NON-ORIGINAL STAIRCASE AND INSTALLATION OF REPLACEMENT TO FIRST AND SECOND FLOOR.

FIRST FLOOR ALTERATIONS - REMOVAL OF CUPBOARD BETWEEN EN-SUITE AND BEDROOM, EN-SUITE TO BECOME FAMILY BATHROOM. REMOVAL OF NON-ORIGINAL STUD WALL BETWEEN BEDROOMS AND REMOVAL OF MASONRY BETWEEN EXISTING EN-SUITE AND BEDROOM TO FORM OPEN PLAN LOUNGE, KITCHEN AND DINING ROOM.

SECOND FLOOR ALTERATIONS – REMOVAL OF MASONRY BETWEEN BEDROOM AND BATHROOM AND BEDROOM TO PROVIDE INCREASED BEDROOM AREA.

EXTERNAL – REMOVAL OF GROUND FLOOR BEDROOM WINDOW AND INSTALLATION OF DOOR TO NEW OFFICE/LAUNDRY/STORE FOR OWNERS ACCOMMODATION AND TO PROVIDE ACCESS. CONSTRUCTION OF NEW STAIRCASE FROM GROUND LEVEL TO EXISTING BALCONY GIVING ACCESS TO OWNERS ACCOMMODATION

SITE

The application site comprises of an existing guest house with first floor balcony and rear yard.

USE

The existing use is a guesthouse and proposed use will be a guesthouse at ground floor with owners accommodation on first and second floor.

AMOUNT OF DEVELOPMENT

The amount of development consists of ground floor alterations - removal of non-original staircase. Removal of non-original studwork between existing lavatory and en-suite. Upgrading existing balcony ceiling to provide fire resistance and sound insulation. Removal of non-original staircase and installation of replacement to first and second floor.

First floor alterations - removal of cupboard between en-suite and bedroom, en-suite to become family bathroom. Removal of non-original stud wall between bedrooms and removal of masonry between existing en-suite and bedroom to form open plan lounge, kitchen and dining room.

Second floor alterations – removal of masonry between bedroom and bathroom to provide increased bedroom area.

External – removal of ground floor bedroom window and installation of door to new kitchen and to provide access. Construction of new staircase from ground level to existing balcony giving access to owners accommodation

LAYOUT

The layout is clearly illustrated on the accompanying plans.

SCALE

There will be no increase in footprint or height of the existing property.

LANDSCAPING

No changes are proposed to the landscaping.

APPEARANCE

The existing south elevation will remain unchanged. The north elevation will not be visible to the public due to its restrictive alleyway access.

ACCESS

No changes are proposed to the vehicular access. The pedestrian access into and within the property will be in accordance with the relevant approved documents of the Building Regulations.

DRAINAGE

The roof surface water will discharge as existing. No changes are proposed to the existing foul drainage.

HERITAGE STATEMENT

The proposed works will not change or affect the existing original fabric of appearance of the front principle elevation. The changes to the rear to the non-original materials.

LISTING

STANMORE HOUSE, THE PARADE
Isles of Scilly (Unitary Authority)
St. Mary's
SV 90308 10540

ST. MARY'S

SV9010 THE PARADE, Hugh Town 1358-0/8/102 (North side) 12/02/75 Stanmore House

GV II

House. Early C19. Coursed granite blocks; late C20 interlocking tiles to half-hipped roof; rendered end stack. Double-depth plan with central entrance hall. 2 storeys; 3-window first-floor range. Semi-circular arch with voussiors over mid C20 door with plain fanlight. Granite lintels over 8/8-pane sashes. Curved corner to left (west). Mid C20 rear addition. Interior not inspected.

Listing NGR: SV9030010541

POLICY WC5- Visitor Economy and Tourism Developments

The change of use from three floors acting as a B and B to one floor becoming a self-contained holiday let does with owners accommodation above, does not jeopardise any points or contradict with any points listed on page 146-147.

- 1) It is contributing to a diverse tourism economy by allowing tourists to visit all year round without them needing to depend on B and B's opening/closing periods. B, c, d, and e are complied with fully.
- 2) As stated above, the tourism can be extended, B and B's close for some parts of the year but a self -contained holiday let enables the tourism to continue.
- 3) A self-catering holiday let is being provided and staff accommodation is being retained.
- 4) It is for permanent occupation of staff/owners to the dwelling.
- 5) As certificate of lawfulness has been obtained.
- 6) There will be a clear reduction in water, waste and energy consumption when there is less footfall.

POLICY LC4- Staff accommodation

There is no increase in in the footprint of the accommodation and it is a of a modest size, it will enable the owners who also intend to run the holiday let i.e carry out the change overs to continue to do so without the need to relocate. There is no change to working hours or the amenity space. The B and B is already an established business and will continue to be an established business for many years to come. Please also consider that many people are not comfortable using B and B's and prefer a much more personal and private experience, the corona virus has knocked peoples confidence in shared spaces and more and more people and now choosing options to pay for a entire space to themselves without needing to interact in public spaces. This proposal offers visitors to stay where

they are not governed by a B and B's closing/opening period, and still provides accommodation for the owners who run the business.

CONCLUSION

Other than the removal of masonry at first and second floor level there are no alterations to the original existing fabric of the listed building. The proposed alterations will have no adverse impact on neighbours or their amenity and will improve the accommodation within the building.

We therefore consider your Council should reasonably grant conditional planning consent and listed building consent.

APPROVED

By Lisa Walton at 10:55 am, Jun 16, 2022

Site Waste Management Plan for:

Freesia
The Parade
St Mary's
Isles of Scilly
TR21 0LP

Source of Building Materials

PC Green Building Services
Sea Glass
4 Porthcressa Road
St Mary's
Isles of Scilly
TR21 0JL

Materials to be disposed/recycled:

Timber
Concrete block/Masonry
Plasterboard
Granite (to be repurposed for other building projects by P C Green Building Services)
Carpets
Tiles
Ceramics (Toilets/Basins)
Plastic

Materials to be transported and recycled by:

PC Green Building Services
Sea Glass
4 Porthcressa Road
St Mary's
Isles of Scilly
TR21 0JL

Materials to be placed in the appropriate recycling facility at:

Porthmellon Waste Management Site
Moorwell
St Mary's
Isles of Scilly
TR21 0JY

APPROVED

By Lisa Walton at 10:56 am, Jun 16, 2022

PRELIMINARY ROOST ASSESSMENT (PRA)

CHIMNEY REMOVAL AT FREESIA GUESTHOUSE HUGH TOWN, ST MARY'S, ISLES OF SCILLY



Client: Mr & Mrs Green

Our reference: 2021-10-1

Planning reference: Produced in advance of submission

Report date: 28th October 2021

Author: James Faulconbridge BSc (Hons), MRes, MCIEEM

Contact: ios.ecology@gmail.com

Executive Summary

Bats – Results and Findings

The preliminary roost assessment (PRA) survey concluded that there was **negligible potential** for use by bats of the chimney, or structures directly affected by the removal of the chimney.

This assessment relates solely to the elements of the building directly affected by the proposals and does not provide a comprehensive assessment of the buildings in question. It is noted that adjacent features, not directly affected by the proposals, may provide **low potential** roosting features for individual bats. Standard avoidance measures would be required to ensure there is no disturbance or accidental damage to potential roosting features during the proposed works.

This judgement was reached in accordance with the survey methodologies and evaluation criteria outlined in the Bat Surveys for Professional Ecologists: Good Practice Guidelines¹

Bats – Further Survey Requirements

No further surveys are recommended – the PRA conclusion does not require further survey information with regards to bats in order to inform a planning application.

Bats – Recommendations

It is not recommended that any Planning Conditions are required with regards to bats in relation to the proposed chimney removal works assessed in this report.

Standard good practice and vigilance should be observed by the contractors undertaking the proposed works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations. This includes measures to avoid disturbance or accidental damage to adjacent features of the building. Recommendations to ensure legislative compliance are provided in Appendix 2.

Nesting Birds – Results and Findings

The survey identified one potential nesting location suitable for use by breeding birds – this is the western-most chimney pot which did not appear to be capped. No evidence of nesting was noted at the time of survey.

Nesting Birds - Recommendations

In order to ensure legislative compliance, the contractors undertaking the works must ensure that nesting birds are not disturbed in accordance with requirements under the Wildlife and Countryside Act (1981)². Observation of the recommendations provided in Appendix 3 will ensure this.

It is the responsibility of the contractors undertaking the works to ensure legislative compliance with regards to nesting birds – it is not recommended that Planning Conditions or other mechanisms are required to support this.

¹ Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn). The Bat Conservation Trust, London.

² HMSO (1981). Wildlife and Countryside Act 1981 (as amended). HMSO, London.

APPENDIX 1 – PRELIMINARY ROOST ASSESSMENT (PRA)

Planning Authority: Isles of Scilly	Location: 90301(E) 10537 (N)	Planning Application ref: Report produced in support of application
Planning application address: Freesia Guesthouse, Hugh Town, St Mary's, Isles of Scilly		
Proposed development: <p>The proposed works were identified by the client. These involve:</p> <ol style="list-style-type: none"> 1) The removal of the chimney from the building structure and subsequent restoration of the roofs and other cosmetic remediation following chimney removal. 		
Building references: <p>The chimney and roof sections in question are identified in the plans provided in Appendix 4. These include both the roof of the property in question – Freesia Guesthouse – and the adjacent property Bordeaux with which the chimney also intersects.</p>		
Name and licence number of bat-workers carrying out survey: <p>James Faulconbridge (2015-12724-CLS-CLS)</p>		
Preliminary Roost Assessment date: <p>The visual inspection was undertaken on 26th October 2021 in accordance with relevant Best Practice methodology³.</p>		
Local and Landscape Setting: <p>The property of Freesia Guesthouse is situated centrally within Hugh Town in St Mary's in the Isles of Scilly.</p> <p>The land use immediately surrounding the property comprises dense residential and small-scale commercial development. The shoreline of Town Beach lies close to the north of the property.</p> <p>Three records of common pipistrelle roosts are identified in relatively close proximity to the property – these relate to individual bats utilising features such as hanging slates around dormer windows.</p>		
Building Description <p>Freesia Guesthouse is a two-storey granite-built property on the main road which runs through Hugh Town. There is a third floor built into the attic space with dormer windows on each pitch of the roof, though a roof void is retained above these upper rooms.</p> <p>The proposals relating to this Grade 2 listed building are restricted to the removal of a chimney. The survey therefore is focused on this element of the structure, and those adjacent elements which would be directly impacted by its removal. This survey report does not represent a</p>		

³ Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn). The Bat Conservation Trust, London.

comprehensive assessment of the property as a whole.

The chimney is situated at the western end of the property, built into the roof at the western gable. It also passes through the roof of the adjoining property (Bordeaux) which is one-storey lower in pitch.

The Chimney

The chimney itself is of brick-built construction with concrete render – this render covers all external aspects and is in good condition throughout. There are three chimney pots – two of which were capped whilst the western-most appeared to be uncapped. The chimney structure itself did not appear to provide any potential roosting opportunities for bats.

Flashing

The points at which the chimney intersects the roof of both Freesia and the adjacent property Bordeaux were lined with flashing. This was well fitted and in good condition although this has the potential to change in time and could potentially offer a low-potential roosting opportunity for individual common pipistrelle bats if the lead were to lift with winter storms for example.

Gable Wall

The gable wall of Freesia Guesthouse, above the roofline of Bordeaux, is rendered throughout and in good condition – no potential roosting features for bats were identified associated with this wall.

Roof (Freesia Guesthouse)

The roof of Freesia Guesthouse is pitched with dormer windows. The roof covering comprises concrete tiles which appear well-fitted, as are the well-pointed ridge tiles. The gable where the chimney is situated is partially hipped. The eaves are well-sealed with a soffit to one side of the chimney and a fascia on the other – both of these features are also well-sealed. Apparent gaps under the tiles adjacent to the chimney were inspected with an endoscope and found to be well sealed. An internal inspection of the roof void above the residential rooms found no evidence of bats or other species – internally this void is well sealed with clean insulation which facilitated the inspection. There appeared to be negligible potential that the area of roof around the chimney, or the internal loft space, provide suitable roosting opportunities for bats at the time of survey.

Roof (Bordeaux)

The roof of Bordeaux could not be accessed internally as this is a neighboring property under different ownership; however it was carefully inspected at height from a flat roof adjacent. The scantle slate tiles are well fitted and well pointed with no appreciable gaps or crevices. The ridge tiles are well-fitted and pointed. There is guttering running along the eaves preventing direct fly-in access at this location. There appeared to be negligible potential that the area of roof around the chimney, or the loft space, provide suitable roosting opportunities for bats at the time of survey.

Summary

Consideration was therefore given to the chimney structure itself; the two roofs it passes through; the intersection between the chimney and the roof; the gable wall against which the chimney is set; and adjacent features such as soffits and fascia boards. Any further areas impacted by the proposed removal would be internal and no potential for impacts to roosting bats are anticipated in these locations.

Adjacent Features

It is noted that other locations on the property do have potential to support roosting bats, though these were outside of the scope of this survey. These include lifted flashing beneath the window of the top floor window on the western gable; fascia boards on the north-facing eaves;

and hanging tiles on dormer windows. Standard avoidance measures would be sufficient to ensure that these locations are not affected by the proposed chimney removal.

Survey Limitations

It was not possible to inspect the loft of the roof at Bordeaux; however this is taken into account in the assessment and does not affect the conclusions which are based primarily on the lack of potential access points for bats as identified by external inspection.

It was not possible to fully access and inspect the roof space of Freesia Guesthouse due to the restricted size and obstacles such as the chimney under consideration. However the conditions internally and the lack of any evidence from a torchlit inspection conducted from inside the loft hatch allows inferences to be made regarding the overall negligible likelihood of bats being present within the interior of the void.

Assessment of Potential for use by Roosting Bats

It is considered that the chimney and the structural features directly affected by its removal provide **negligible potential** for use by roosting bats.

Adjacent structures which would not be affected could potentially support individual common pipistrelle bats though this is considered to be **low potential**.

Recommendations and Justification (Bats):

No further surveys are recommended – the conclusion of **negligible potential** does not require any further information with regards to bats in order to inform a planning application.

It is not recommended that any Planning Conditions are required with regards to bats in relation to the proposed chimney removal works.

Standard good practice and vigilance should be observed by the contractors undertaking the removal works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations.

The potential for individual common pipistrelle bats to make use of minor features in adjacent structural features means that works must be constrained to the area in question. This would require due care to avoid disturbance or accidental damage. Recommendations to ensure legislative compliance are provided in Appendix 2.

Assessment of Potential for use by Nesting Birds

The chimney pot to the west appeared un-capped and may potentially offer nesting habitat for breeding birds. The species which most typically uses such features in the UK is jackdaw which are not resident on Scilly; however pigeons, starlings and some gull species may occasionally use such features. No evidence of nesting was noted at the time of survey.

It is considered that the remainder of the chimney and associated structural features provide **negligible potential** for use by nesting birds.

Recommendations and Justification (Birds):

In order to ensure legislative compliance, the contractors undertaking the works must ensure that nesting birds are not disturbed in accordance with requirements under the Wildlife and Countryside Act (1981). Observation of the recommendations provided in Appendix 3 will ensure this.

It is the responsibility of the contractors undertaking the works to ensure legislative compliance with regards to nesting birds – it is not recommended that Planning Conditions or other mechanisms are required to support this.

Signed by bat worker(s):

Date: 28th October 2021



APPENDIX 2

-

PRECAUTIONARY METHOD STATEMENT WITH REGARDS TO BATS

The purpose of this Method Statement is to ensure that chimney removal works can proceed where presence of bats has been determined to be unlikely, but a precautionary approach is still advisable. It has been determined that direct harm to roosting bats during the proposed works would be highly unlikely.

Contractors should, however, be aware of **their own legal responsibility with respect to bats**:

Relevant Legislation regarding Bats

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation even if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

(a) *To impair their ability -*

- *to survive, to breed or reproduce, or to rear or nurture their young; or*
- *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*

(b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

Contractors should be aware of **where bats are most likely to be found in respect to the roof to be replaced:**

There is a negligible risk of bats making transient use of features beneath flashing where the chimney meets the roof, if it becomes lifted or otherwise provides a crevice feature.

The flashing around the chimney should be lifted carefully in such a way that in the highly unlikely event of a bat being present beneath, they are not crushed. Once inspected, the flashing can be removed.

Contractors should be aware of **where bats could occur in structures adjacent to the works site.**

There is low potential for individual bats to use transient roosting opportunities associated with adjacent structural features, such as the lifted flashing beneath the top-floor window in the western gable; the hanging tiles and associated features on the dormer windows; and the fascia on the northern aspect of the roof above the decking. This list is indicative but not conclusive as these structures are outside of scope of the assessment – there is no reason for them to be affected by the works proposed.

Care should be taken during works to ensure that the adjacent structural features are not disturbed or damaged. This may include a contractor briefing to ensure that those working on the roof understand the requirement, or other measures such as a temporary sign, tape or physical barrier if deemed necessary.

Contractors should be aware of **the process to follow in the highly unlikely event of finding bats** or evidence indicating that bats are likely to be present:

If bats are identified, works should cease and the named ecologist contacted immediately for advice.

If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.

Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm **and** if the ecologist cannot be contacted for advice.

APPENDIX 3

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METHOD STATEMENT WITH REGARDS TO BREEDING BIRDS

Timing of Works

The most reliable means of ensuring nesting birds are not impacted by the works is for renovation works to be conducted outside the bird breeding season of March to September inclusive. Chimney removal works can be undertaken outside of the breeding season, March to September inclusive, without constraint.

In the specific situation of the chimney removal at Freesia Guesthouse, the only location where this timing is strongly recommended is in the case of the western-most chimney pot which appeared to be uncapped.

Works Undertaken during the Breeding Season

If the chimney removal works proceed during the breeding season, a nesting bird survey would need to be carried out immediately prior to commencement. This can be achieved simply by inspecting the chimney pot from above to confirm whether or not any nesting birds are present.

- Where active nests are identified, works must be delayed until the chicks have fledged the nest.
- Once it is confirmed that nests are absent or no longer active, the works can proceed without further constraint.

APPENDIX 4

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LOCATION PLAN AND PHOTOGRAPHS



Map 01 – Illustrating the location of the property within the local environs (red circle). Reproduced in accordance with Google’s Fair Use Policy.



Map 02 – Showing the chimney (indicated by the red dot) on the western gable end of Freesia Guesthouse (indicated in blue) with the adjacent Bordeaux property (indicated in red).



Photograph 1: Showing the chimney with the higher structure of Freesia Guesthouse to the right and the lower roof of Bordeaux to the left.



Photograph 2: An example of the tightly fitted flashing where the concrete-rendered chimney meets to the roof of Bordeaux.



Photograph 3: Showing the hipped roof on the gable end of Freesia with the chimney meeting the lower roof of Bordeaux.



Photograph 4: Showing the chimney from within the roof space of Freesia guesthouse – the brickwork is well pointed and no cavities were noted.



Photograph 5: Showing the well-fitted concrete roof tiles of Freesia abutting the chimney.



Photograph 6: Showing the well-fitted scantle slate tiled roof of Bordeaux.