



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455

✉planning@scilly.gov.uk

Mr A Miller
12 Jacksons Hill
Hugh Town
St Marys
Isles Of Scilly
TR21 0JZ

Email only: [REDACTED]

24th October 2022

Dear Mr Miller,

Re: P/22/070/NMA: 12 Jacksons Hill, Hugh Town St Mary's
Application for a Non-Material Amendment to planning permission P/22/027/HH
(Replacement of windows, balcony and other alterations) to 1) revise window design
(glazing pattern), 2) reduce window size on east and south elevations, 3) reduction in
size of balcony on east elevation and 4) revise design of front door to grey composite
material.

This letter is to notify you that your application registered on 27th September 2022 for non material amendments to the approved planning permission (P/22/027HH) have been approved in accordance with the submitted details.

The amended drawings showing the revised windows on the north and south elevation and the shortened balcony on the east elevation:

- **Revised Proposed East Elevation, Date Stamped 26 September 2022**
- **Revised Proposed South Elevation, Date Stamped 26 September 2022**
- **Revised Proposed North Elevation, Date Stamped 26 September 2022**
- **Revised Proposed West Elevation, Date Stamped 26 September 2022**
- **Revised Proposed Roof Plan, Date Stamped 26 September 2022**
- **Revised Proposed First Floor Plan, Date Stamped 26 September 2022**

The amended drawing as listed above, stamped 'as approved' has been accepted as an amendment to the approved details and **these replace the following approved plans:**

- **Plan 3 Proposed East Elevation, date stamped approved 18th May 2022;**
- **Plan 4, Proposed First Floor Plan, date stamped approved 18th May 2022;**
- **Plan 6 Proposed North Elevation, date stamped approved 18th May 2022;**
- **Plan 7 Proposed Roof Plan, date stamped approved 18th May 2022;**
- **Plan 8 Proposed South Elevation, date stamped approved 18th May 2022;**
- **Plan 9 Proposed West Elevation, date stamped approved 18th May 2022.**

This approved amended plan shall be held on the file P/21/068/HH and form part of the approved details.

The development shall be carried out in accordance with the approved plans only and the details as required by the conditions attached to P/21/027/HH.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Lisa Walton', is positioned above the printed name.

Lisa Walton

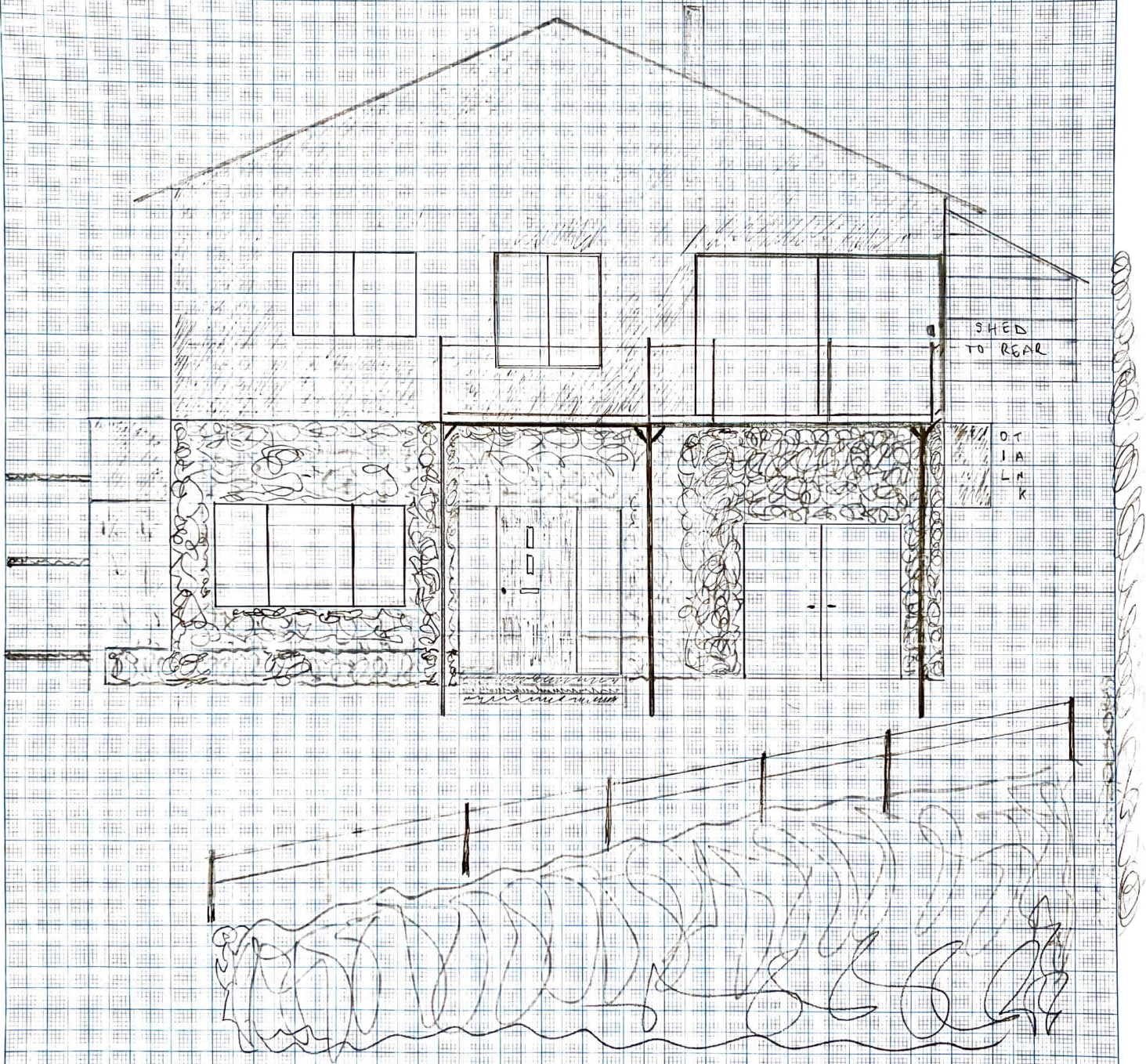
Chief Planning Officer

AM2c - EAST ELEVATION - REVISED PROPOSED

Scale 1:50 at A3

APPROVED

By Lisa Walton at 2:36 pm, Oct 24, 2022



RECEIVED

By Liv Rickman at 10:51 am, Sep 26, 2022

AM4c - FIRST FLOOR - REVISED PROPOS

Scale 1:50 at A3

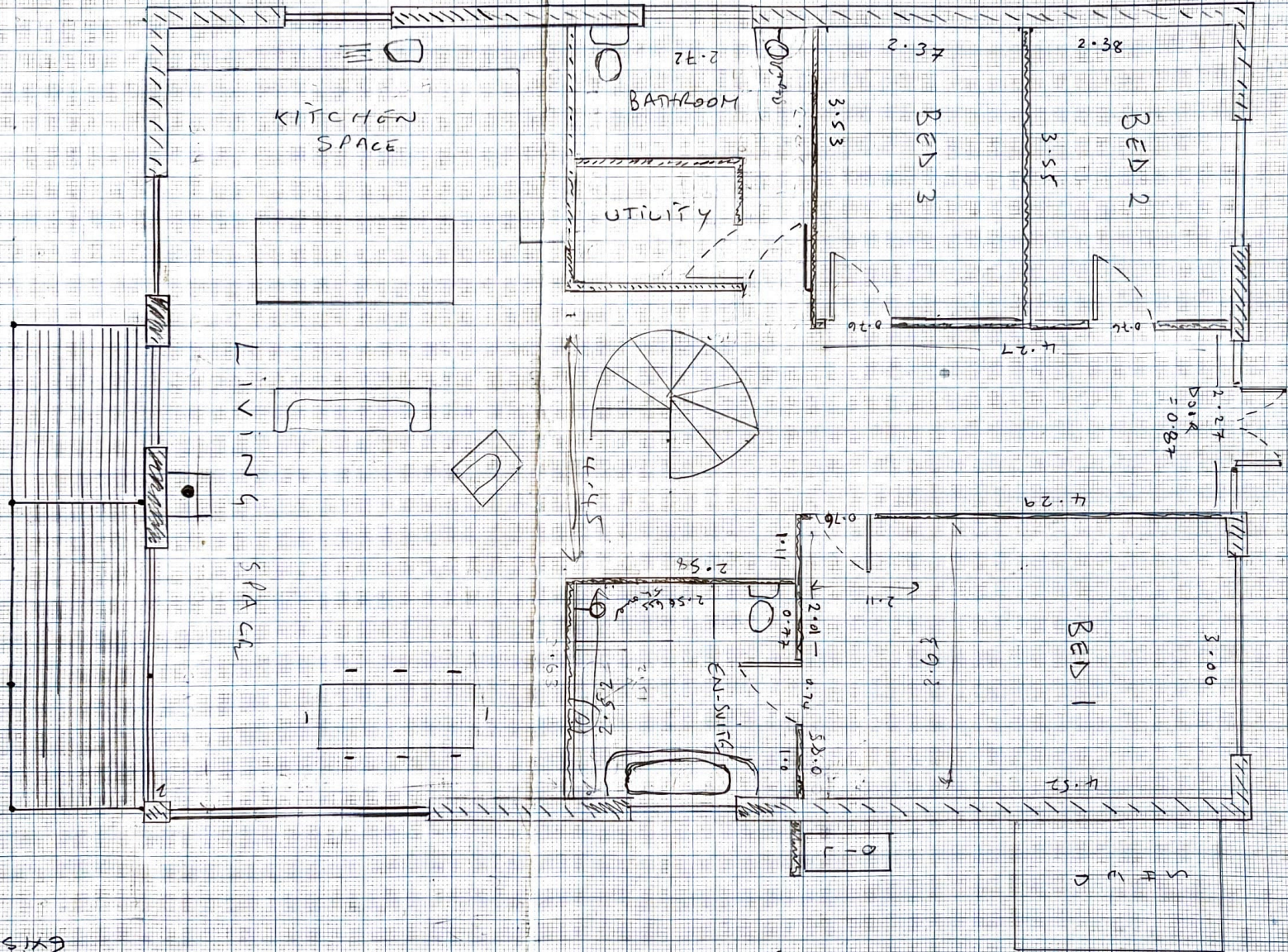
APPROVED

By Lisa Walton at 2:37 pm, Oct 24, 2022

RECEIVED

By Liv Rickman at 10:51 am, Sep 26, 2022

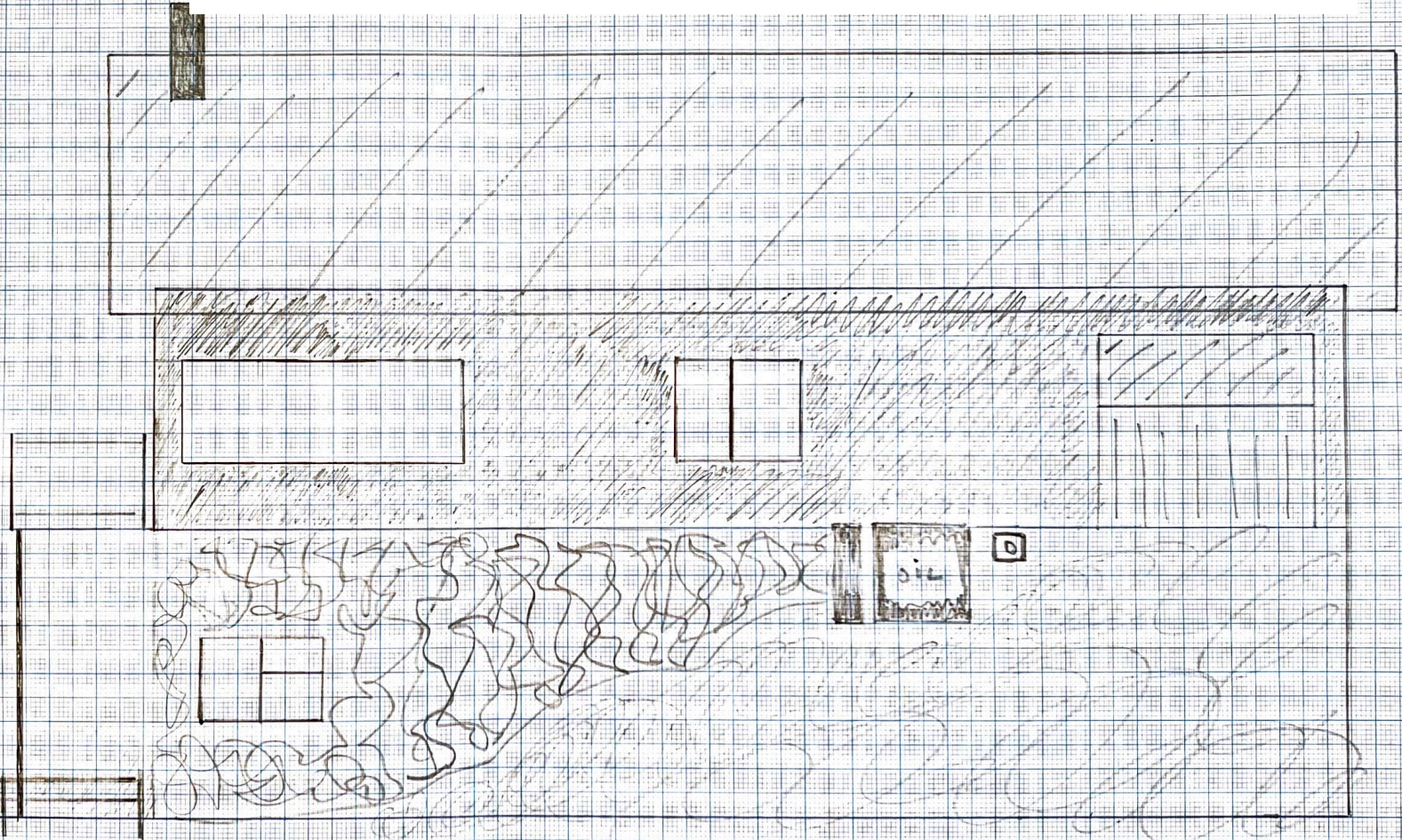
DRIVEWAY



APPROVED

By Lisa Walton at 2:37 pm, Oct 24, 2022

AM8c - NORTH ELEVATION - REVISED
PROPOSED 9/22
Scale 1:50 at A3



RECEIVED

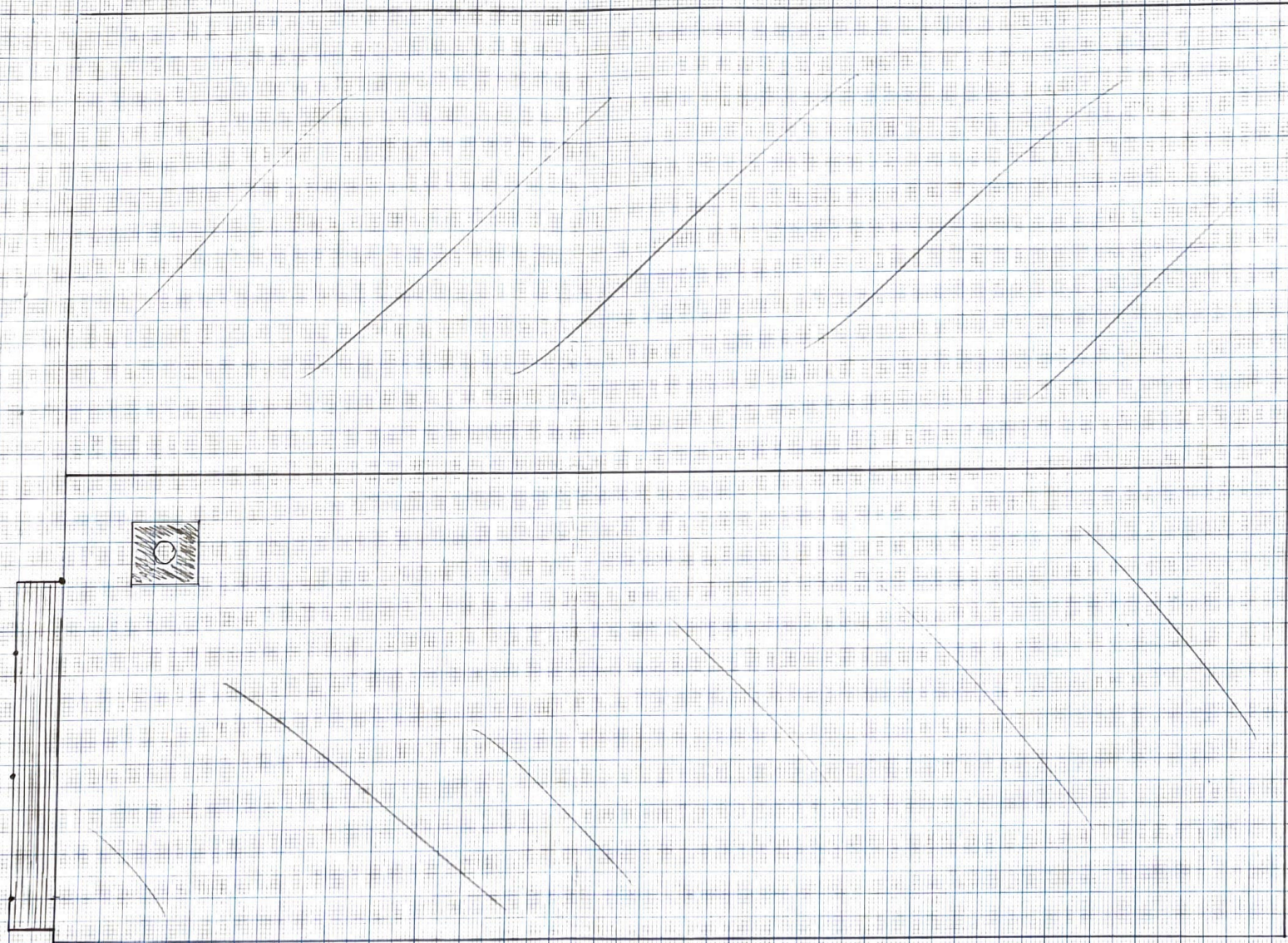
By Liv Rickman at 10:52 am, Sep 26, 2022

APPROVED

By Lisa Walton at 2:37 pm, Oct 24, 2022

AM12c - ROOF - REVISED PROPOSED

Scale 1:50 at A3



RECEIVED

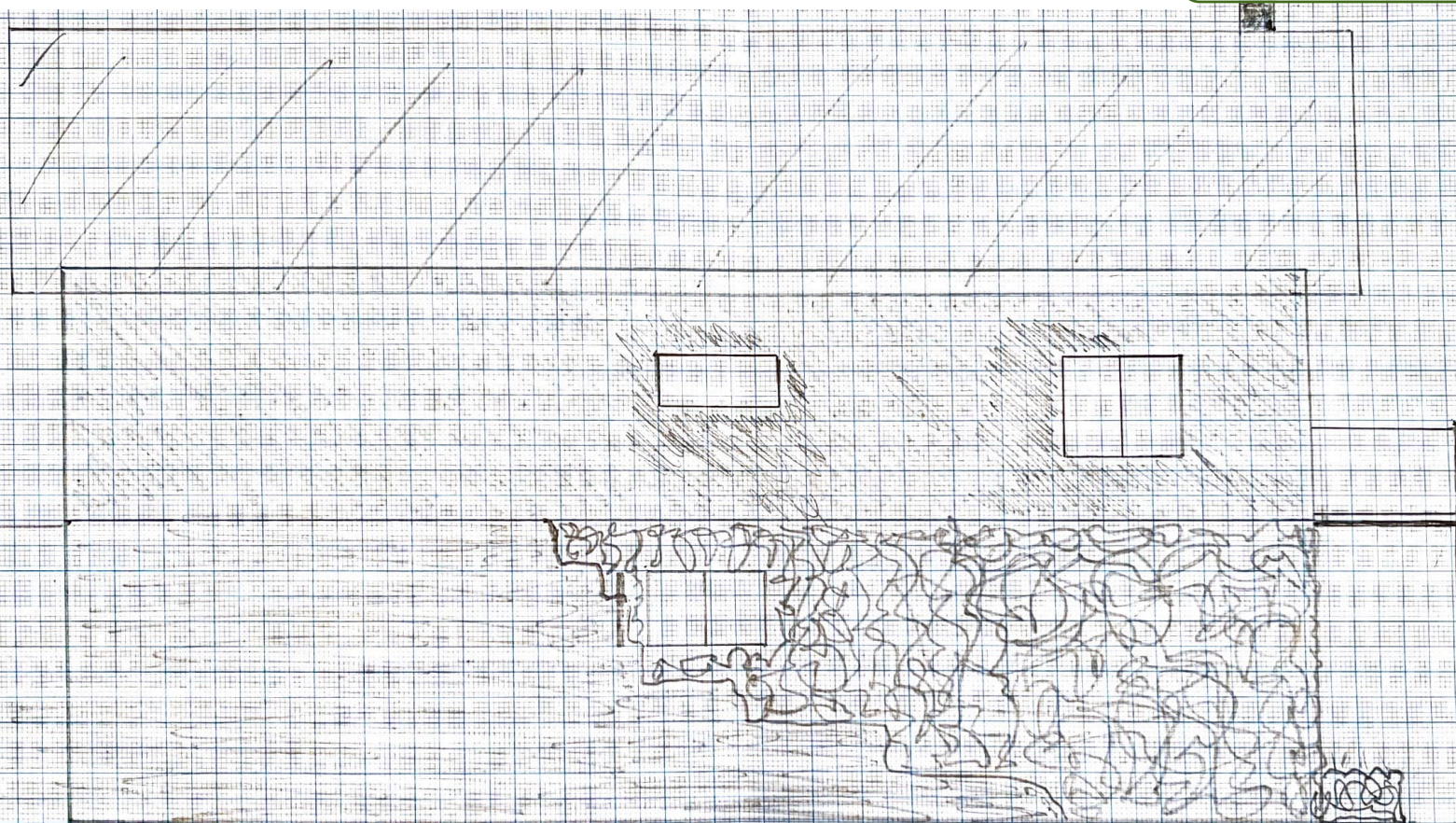
By Liv Rickman at 10:51 am, Sep 26, 2022

AM10c - SOUTH ELEVATION - REVISED PROPOSED

Scale 1:50 at A3

APPROVED

By Lisa Walton at 2:38 pm, Oct 24, 2022



RECEIVED

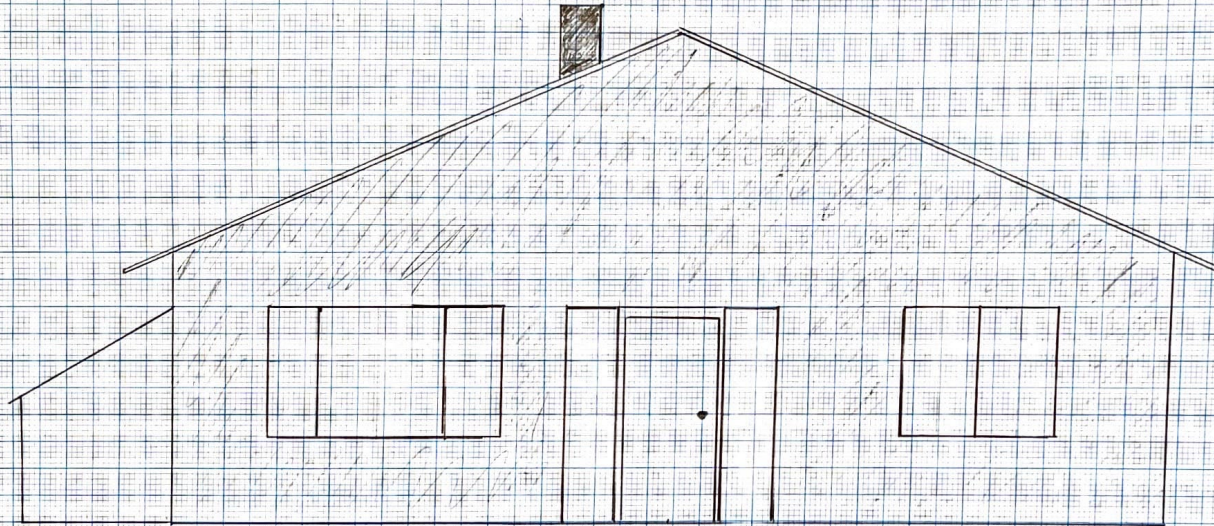
By Liv Rickman at 10:51 am, Sep 26, 2022

AM14b - WEST ELEVATION - REVISED PROPOSED

Scale 1:50 at A3

APPROVED

By Lisa Walton at 2:38 pm, Oct 24, 2022



RECEIVED

By Liv Rickman at 10:52 am, Sep 26, 2022