



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2015

PERMISSION FOR DEVELOPMENT

Application No: P/23/011/FUL **Date Application Registered:** 20th February 2023

Applicant: Mrs Abbigail Ellis
Hugh Street Cafe,
Hugh Street,
Hugh Town,
St Mary's,
Isles Of Scilly,
TR21 0LL

Site address: Hugh Street Cafe Hugh Street Hugh Town St Mary's Isles Of Scilly
Proposal: Installation of kitchen extraction and air-conditioning with outlets to the outside wall.

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

C2 The development hereby permitted shall be carried out in accordance with the approved details only including:

- **Plan 1 Location Plan**
- **Plan 2 Site Plan**
- **Plan 3 Proposed Elevations**
- **Plan 4 Proposed Floor Plan**
- **Design and Access Statement**

These are stamped as APPROVED
Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

C3 Before the combined equipment of air conditioning unit and ventilation/extractor fan, hereby approved, are first bought into combined use, a BS4142 Noise Assessment shall be completed and submitted for approval in writing by the Local Planning Authority. The noise level (LAeq, T) from this fixed plant and machinery, when

operating simultaneously, should not exceed the background noise level (LA90,T) at any time when measured at the nearest noise sensitive source.

Reason: To safeguard the amenity of neighbouring residents/occupiers and to ensure the development does not generate an unacceptable level of noise in accordance with Policy OE3(1) the Isles of Scilly Local Plan (2015-2030).

C4 Neither the ventilation/extractor fan nor air conditioning unit, hereby approved, shall be used, in combination, before 0800hours or after 1800hours on any day.

Reason: To safeguard the amenity of neighbouring residents/occupiers and to ensure the development does not generate an unacceptable level of noise in accordance with Policy OE3(1) the Isles of Scilly Local Plan (2015-2030).

C5 No construction plant and/or machinery shall be operated, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.

Reason: In the interests of protecting the residential amenities of the islands.

C6 The air conditioning unit and ventilation/extractor fan, hereby approved shall be permanently removed upon redundancy for its dedicated purposes and the building reinstated to its former condition within a period of six months following removal.

Reason: The equipment has been permitted for a dedicated purpose and, if no longer needed, should be removed from this part of the Islands in the interests of the visual amenities of the area.

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2021.
2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
3. In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. The fee is payable for each separate request to discharge condition(s) where the planning permission relates to any other type of development other than a householder application. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
4. This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.
5. All ductwork serving the new commercial kitchen extract ventilation system should be fitted with anti-vibration mounts to minimise vibration at adjacent sensitive premises. The new commercial kitchen extract ventilation system should be fitted with odour control measures in order to minimise grease and odours from cooking fumes. All equipment should be maintained and serviced as per manufacturer's instructions.

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 10th May 2023



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Mrs Abbigail Ellis

Please sign and complete this certificate.

This is to certify that decision notice: P/23/011/FUL and the accompanying conditions have been read and understood by the applicant: Mrs Abbigail Ellis.

1. **I/we intend to commence the development as approved:** Installation of kitchen extraction and air-conditioning with outlets to the outside wall at: Hugh Street Cafe Hugh Street Hugh Town St Mary's Isles Of Scilly **on:**..... .
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name: _____ **Contact Telephone Number:** _____
And/Or Email: _____

Print Name:.....

Signed:.....

Date:.....

Please sign and return to the **above address** as soon as possible.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎ 01720 424455

✉ planning@scilly.gov.uk

**THIS LETTER CONTAINS IMPORTANT INFORMATION
REGARDING YOUR PERMISSION – PLEASE READ
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any un-authorized work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £34 per application
- Other permissions - £116 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £34 for householder type applications and £234 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000.

Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall Council
Pydar House
Pydar Street
Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online: <https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

APPROVED

By Lisa Walton at 2:42 pm, May 10, 2023

Hugh Street Cafe, Hugh Street, Hugh Town, St Mary s. Isles Of Scilly, TR21 0LL

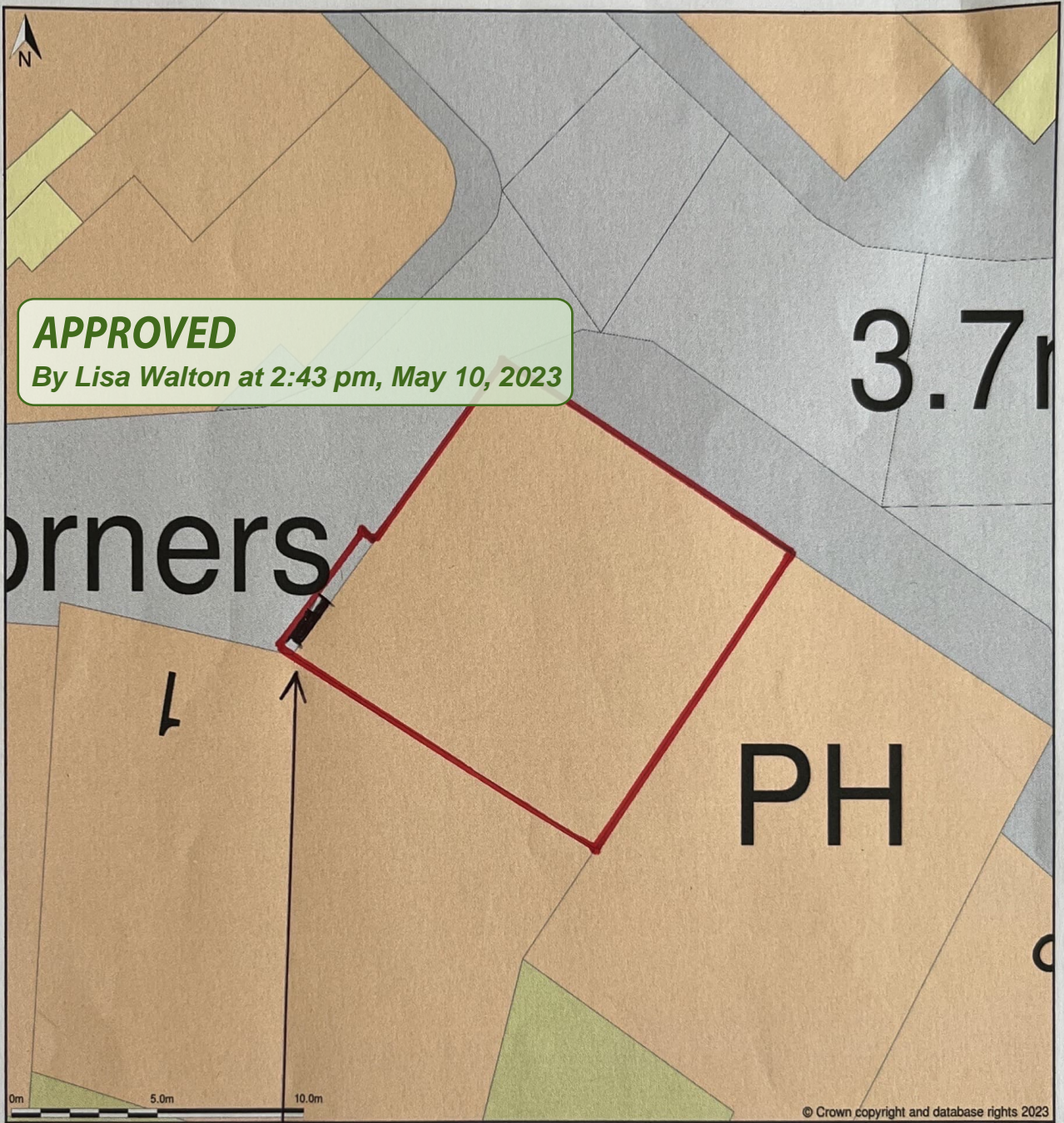


Location Plan shows area bounded by: 90185.25, 10456.39 90326.67, 10597.81 (at a scale of 1:1250), OSGridRef: SV90251052. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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Hugh Street Cafe, Hugh Street, Hugh Town, St Mary s. Isles Of Scilly. TR21 0LL



Site Plan (also called a Block Plan) shows area bounded by: 90238.0, 10508.98 90274.0, 10544.98 (at a scale of 1:200), OSGridRef: SV90251052. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

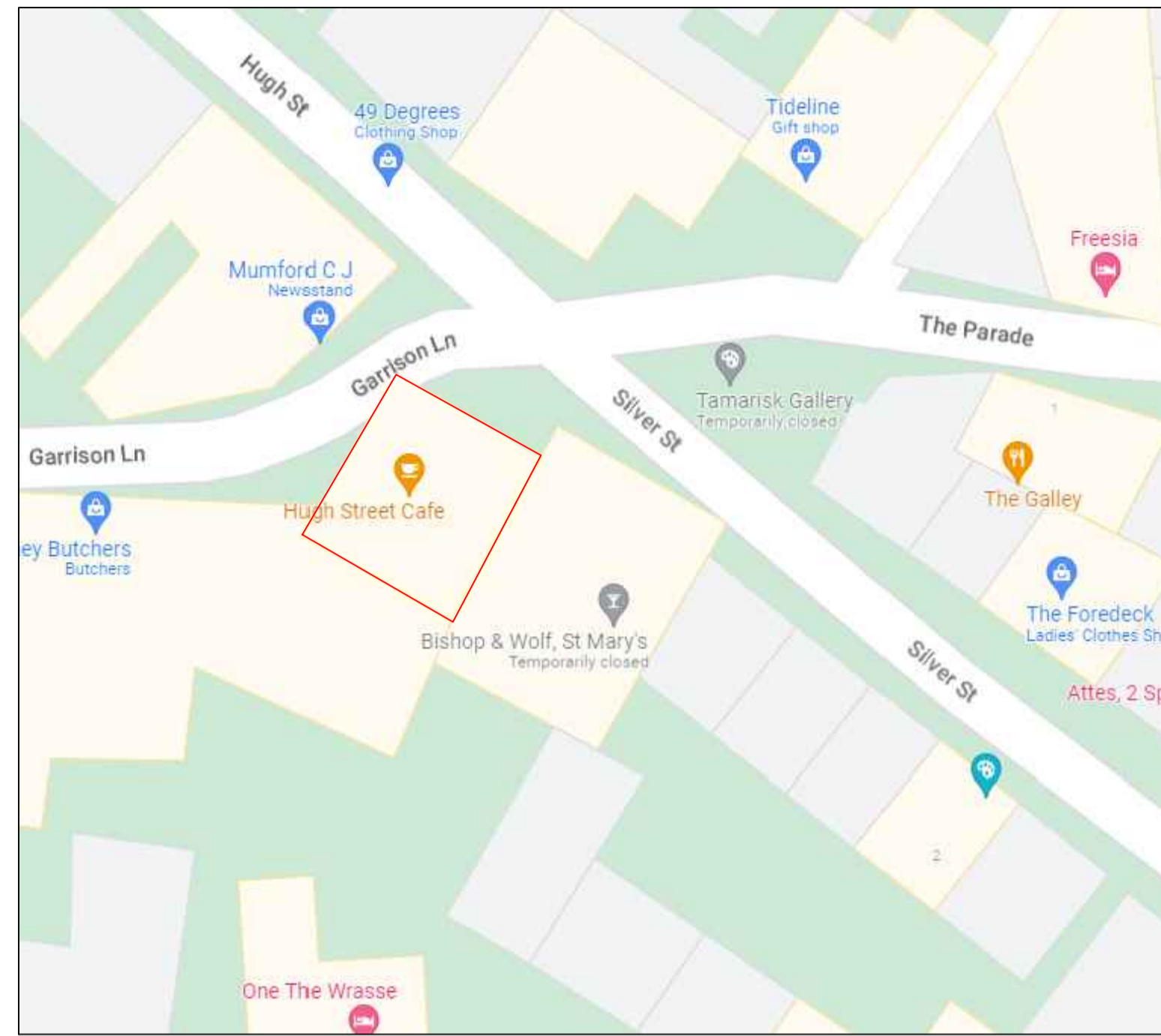
Produced on 9th Feb 2023 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2023. Supplied by www.buyaplan.co.uk a licensed Ordnance Survey partner (100053143). Unique plan reference: #00795696-53E35A.

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Position of extractor fan and air conditioning system

SITE LOCATION

Scale - NTS



RECEIVED
By Liv Rickman at 11:34 am, Feb 10, 2023

Rev	Date	Drawn By	Notes

WEST ELEVATION

Scale - 1:50



NORTH ELEVATION

Scale - 1:50



APPROVED
By Lisa Walton at 2:43 pm, May 10, 2023

DO NOT SCALE FROM THIS DRAWING!
All measurements in MM with a tolerance +/- 1mm
All power & services Installation by client/M/E Contractor
Ceiling grid for illustration purposes only. To be fitted by others.
Drawing to be printed in colour

Approximate canopy weight:	85 Kg
Approximate condensate weight:	-

Drawing to be used in conjunction with:	
Architect:	-
Kitchen:	-
Landlord:	-

Odour Control Checklist	
Pre-Filter	-
Carbon	-
Bag Filter	-
HEPA	-
ESP	-
UV Ozone	-

Extract	VCD	Pre-filter	Double deflection grille	Canopy LED light
Extract fire rated	Carbon	Toilet Valve	Eggcrate grille	Flex
Supply	Toilet extract	Fire & smoke damper	Pump house anti vibration foot	Access door
Ceiling grid	Cladding			
Bracketry				

Extract Fan Information:
Fan Model: AW 400 E4 Axial Fan
Input Current: 1.05 A
Full Load Current: 6.3 A
Sound Level: 64 dB at 1M
Weight: 8.7 Kg
Controller: -

Supply Fan Information:
Fan Model: -
Input Current: -
Full Load Current: -
Sound Level: -
Weight: -
Controller: -

Ancillary Fan Information:
Fan Model: -
Input Current: -
Full Load Current: -
Sound Level: -
Weight: -
Controller: -

Ancillary Fan Information:
Fan Model: -
Input Current: -
Full Load Current: -
Sound Level: -
Weight: -
Controller: -

Project:	Hugh St. Cafe		
Client:	Hugh St. Cafe		
Drawing No:	PV23021-01	Date:	09/02/2023
Drawn By:	EF	Revision:	-
Drawing view:	Exterior Elevations		
Status:	FOR APPROVAL	Paper Size:	A1
Site Address:	Hugh Street, St Mary's, Isles of Scilly, TR21 0LL		

Partridge Ventilation

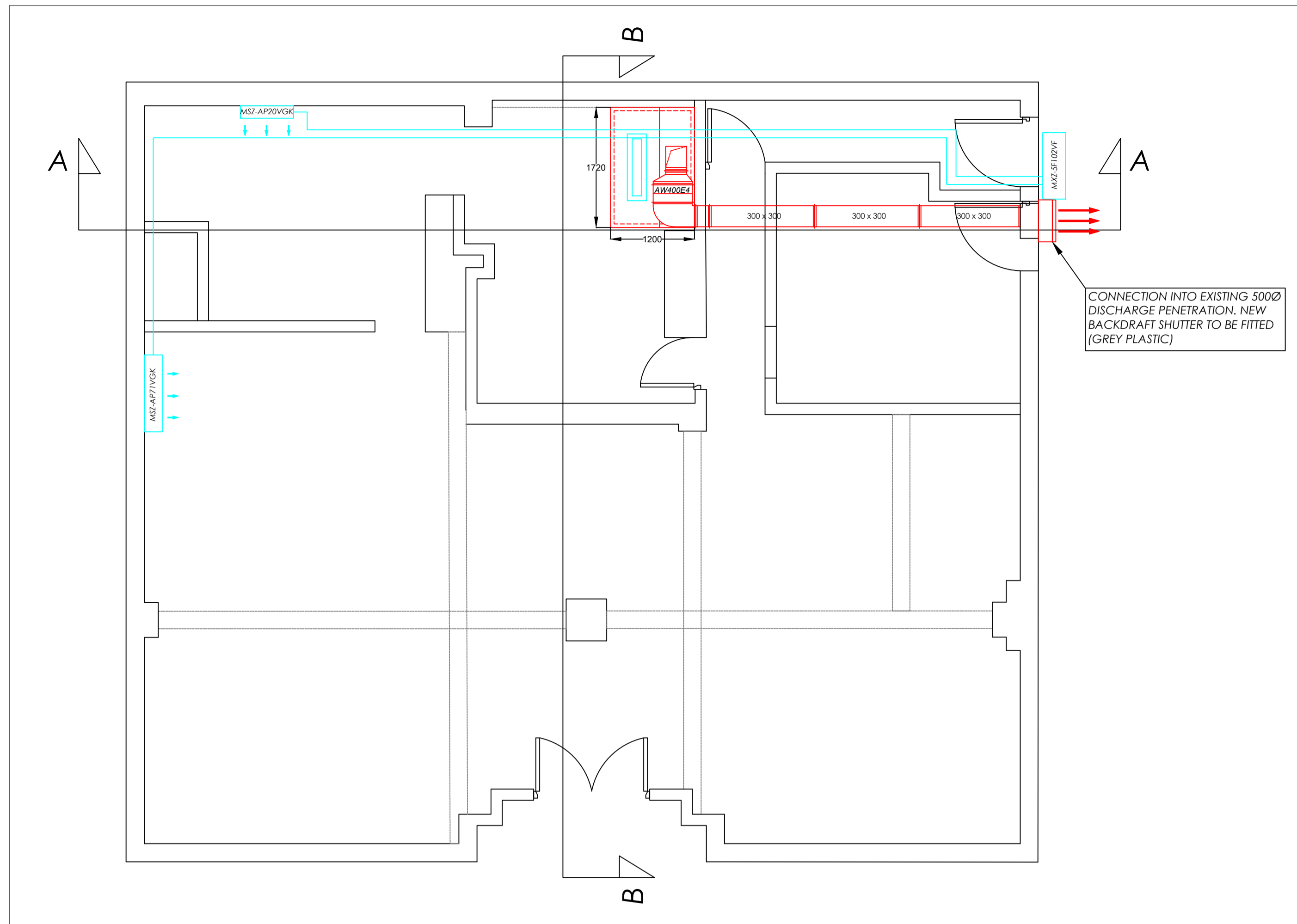
"a breath of fresh air"

Partridge Ventilation Ltd
Company Number: 12082527

Cardrew Industrial Estate, Reaforth, Cornwall, TR15 1SH
enquiries@partridge-ventilation.co.uk
01209 204700

PLAN - Ground floor

Scale - 1:50



CONNECTION INTO EXISTING 500mm DISCHARGE PENETRATION. NEW BACKDRAFT SHUTTER TO BE FITTED (GREY PLASTIC)

PLEASE NOTE THAT WHILST WE HAVE NOT INCLUDED A MECHANICAL FRESH AIR SUPPLY INTO THE KITCHEN, IT IS RECOMMENDED THAT THIS BE INSTALLED WITH ANY SYSTEM EXTRACTING AIR FROM A ROOM

Rev	Date	Drawn By	Notes

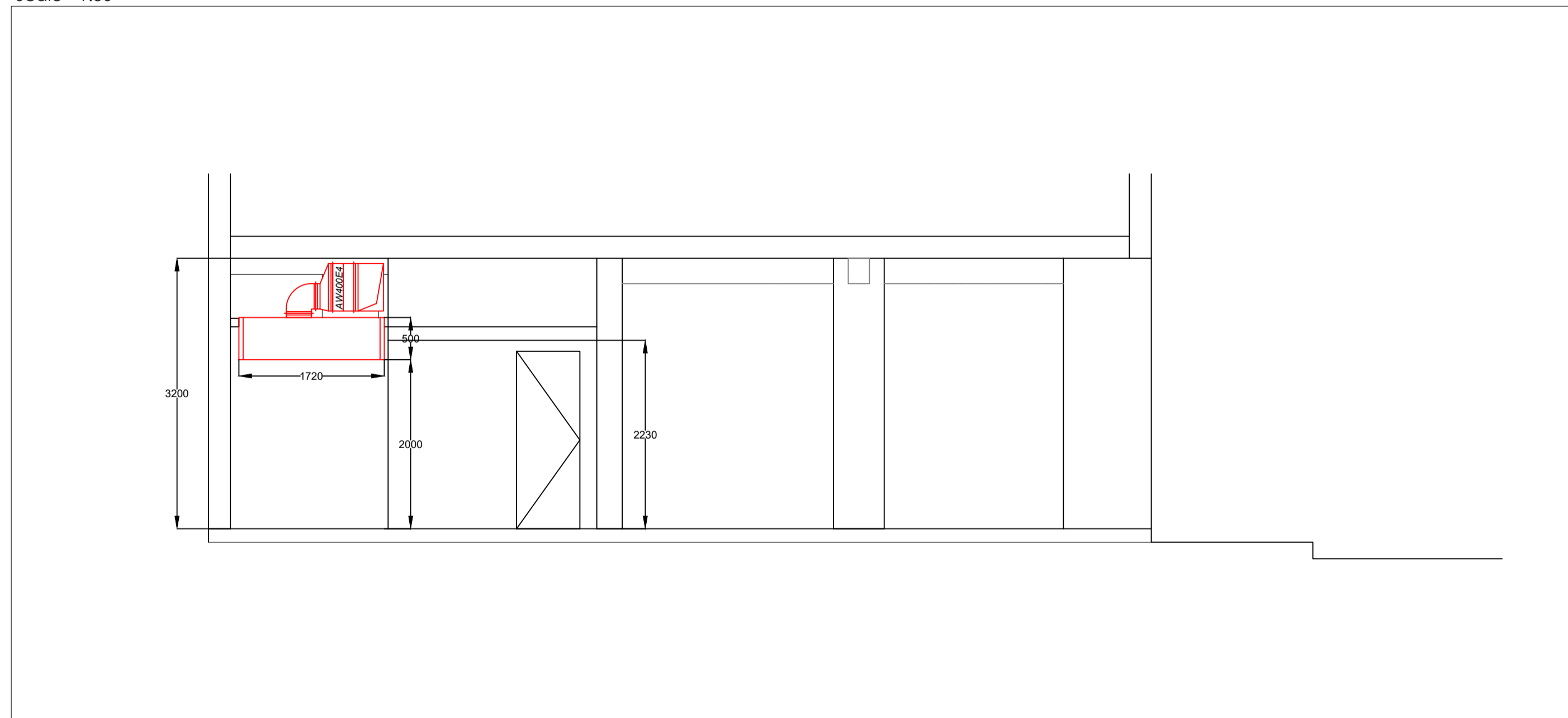
Cooking equipment	Power	Plan Size	Area	TCC	Flow Rate
Open Top Range & Oven, Electric	Electric	0.65	0.90	0.52	0.25
Melba Slice Deep Fat Fryer, Electric	Electric	0.45	0.50	0.58	0.45
Theoretical Flow Rate					0.70 l/s
Overhead wall (closed both ends)					1.15 l/s
Excess Flow Rate					0.45 l/s
+10% allowance					0.50 l/s
Total Extract					0.21 l/s
Total Supply (85%)					0.18 l/s

APPROVED
By Lisa Walton at 2:44 pm, May 10, 2023

RECEIVED
By Liv Rickman at 11:33 am, Feb 10, 2023

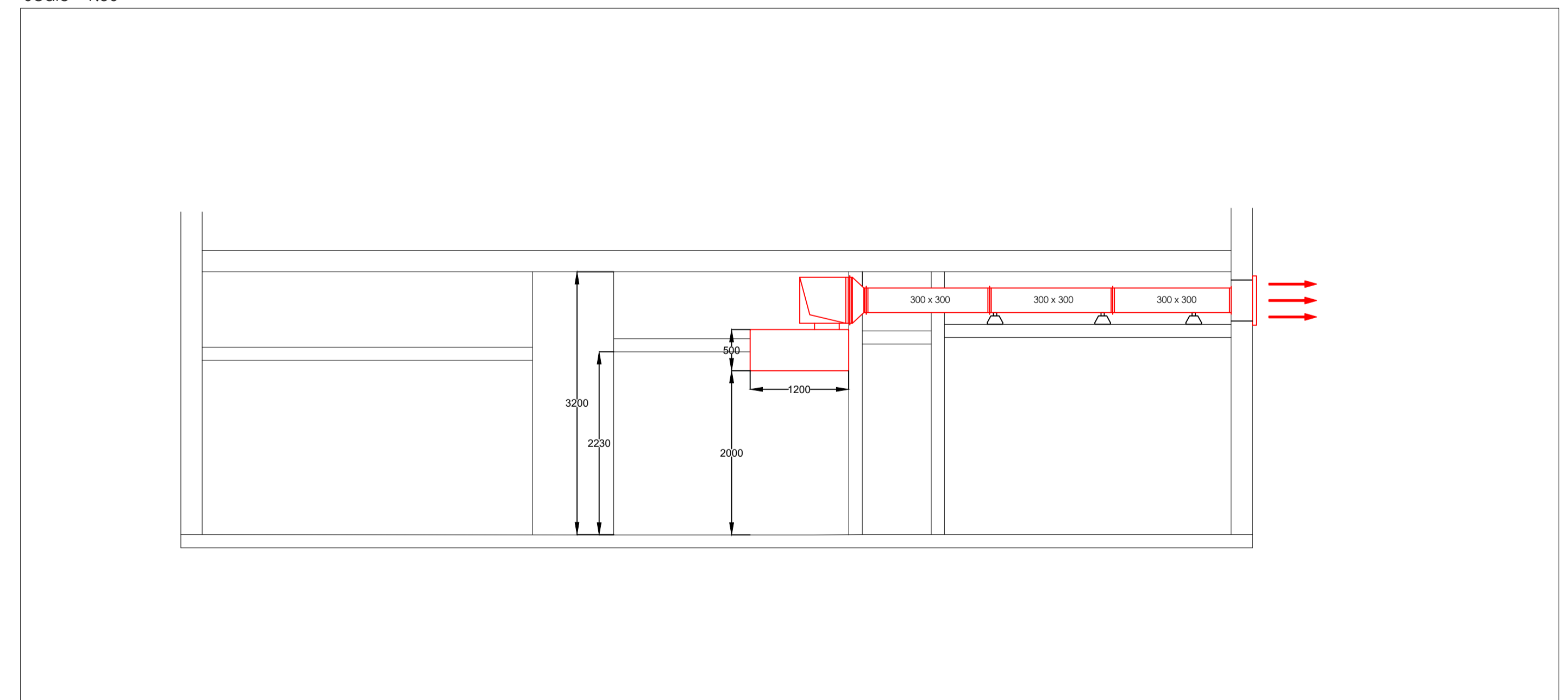
SECTION A-A

Scale - 1:50



SECTION B-B

Scale - 1:50



DO NOT SCALE FROM THIS DRAWING!
All measurements in MM with a tolerance +/- 1mm
All power & services installation by client/M&E Contractor
Ceiling grid for illustration purposes only. To be fitted by others.
Drawing to be printed in colour

Approximate canopy weight:	85 Kg
Approximate condense weight:	-
Drawing to be used in conjunction with:	
Architect:	-
Kitchen:	-
Landlord:	-

Odour Control Checklist	
Pre-Filter	-
Carbon	-
Bag Filter	-
HEPA	-
ESP	-
UV Ozone	-

Extract	VCD	Pre-filter	Double deflection grille	Canopy LED light
Extract fire rated	Carbon	Toilet Valve	Eggcrate grille	Flex
Supply	Fire damper	Fire & smoke damper	Pump house anti vibration foot	A/D Access door
Toilet extract				
Ceiling grid				
Cladding				
Bracketry				

Extract Fan Information:
Fan Model: AW 400 E4 Axial Fan
Input Current: 1.05 A
Full Load Current: 6.3 A
Sound Level: 64 dB at 1M
Weight: 8.7 Kg
Controller: -

Supply Fan Information:
Fan Model: -
Input Current: -
Full Load Current: -
Sound Level: -
Weight: -
Controller: -

Ancillary Fan Information:
Fan Model: -
Input Current: -
Full Load Current: -
Sound Level: -
Weight: -
Controller: -

Ancillary Fan Information:
Fan Model: -
Input Current: -
Full Load Current: -
Sound Level: -
Weight: -
Controller: -

Project:	Hugh St. Cafe		
Client:	Hugh St. Cafe		
Drawing No:	PV23021-02	Date:	09/02/2023
Drawn By:	EF	Revision:	-
Drawing view:	Plan and section views		
Status:	FOR APPROVAL	Paper Size:	A1
Site Address:	Hugh Street, St Mary's, Isles of Scilly, TR21 0LL		

Partridge Ventilation
"a breath of fresh air"
Partridge Ventilation Ltd
Company Number: 12082527
Cardrew Industrial Estate, Redruth, Cornwall, TR15 1SH
enquiries@partridge-ventilation.co.uk
01209 204700

APPROVED

By Lisa Walton at 2:46 pm, May 10, 2023

RECEIVED

By Liv Rickman at 12:29 pm, Feb 17, 2023

Hugh Street Café

Proposed installation of kitchen extraction and air conditioning system

Design and Access Statement

Overview:

We are seeking planning permission to install a new, fit for purpose kitchen extraction system in the café kitchen and add air conditioning to the back storeroom and front serving area.

In the 4 years since we took on the business we have increased the food offering and seating, the combination of the two means that the existing extractor fan is no longer fit for purpose. We have no extraction hood or ducting, meaning the fan we have now is trying, unsuccessfully to extract heat from the whole café and kitchen area.

We therefore wish to put in a new extraction system with cooker hood and ducting to better mitigate the smells and heat from the kitchen. The hood and ducting will mean that the fan will be more successful in removing the heat from the kitchen as its power will be concentrated on a specific area.

There will be 2 air conditioning units, the first located in our store room and the second, larger unit in the front serving area of the café.

Design and scale:

The new extractor fan will exit from the existing site, and the air conditioning unit will sit alongside it. They will sit at a height of 3.16 meters to lessen the impact at eye level.

Noise and Impact:

The new systems will enable us to further improve our working environment for staff, whilst the air conditioning unit in the front of the café will help to improve the customer experience.

The new fans will be quieter than the system we currently have, as it is a more up to date model and will be built with our needs taken into consideration.

We hope to be able to use the extractor fan less as it will be a more effect system for the job.

Site waste management plan:

There will be little waste from this work, any waste we will have will be disposed of at the Waste & Recycling centre at Moorwell.

Ventilation and Extraction Statement:

Current extractor fan:



Air conditioning unit:

We are proposing to install 2 air conditioning units inside the café, these will feed to an external condenser unit that will be situated to the right of our current extractor fan. We have chosen an option that enables us to install 1 unit to the outside of the wall, rather than 1 per unit, therefore improving the site visually, whilst also minimising the noise from the unit.

The proposed unit is a Mitsubishi MXZ-5F102VF. This unit is white and the bracketry to support the unit will be in galvanised steel Unistruct fixed directly to the wall.

The highest sound level of the unit is 65dB.



Kitchen Extraction:

The proposed kitchen extraction fan will be situated in the site of our current fan, it will have a short section of galvanised steel with a grey plastic backdraft shutter on the termination.

The proposed external fan is an AW 400E4 sileo Axial fan. The highest sound level of this unit is 64dB, however the sound pressure drops after every metre of square duct and any change in direction. The final sound level will therefore be lower than the stated 64dB.

This is a substantial reduction in volume from our current fan.

