



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2015

PERMISSION FOR DEVELOPMENT

Application No:	P/23/103/COU	Date Application Registered:	15th December 2023
Applicant:	Mr And Mrs Browne Signal Rock Higher Town St Martin's Isles Of Scilly TR25 0QL	Agent:	Mr Derek Jackson Tremough Innovation Centre, Penryn, Cornwall, TR10 9TA

Site address: Signal Rock Higher Town St Martin's Isles Of Scilly TR25 0QL
Proposal: Conversion of an existing residential store barn into seasonal staff accommodation studio apartment and the creation of an opening in the adjacent boundary wall to provide access and new PV solar panels to existing flat roof of main house

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- **Plan 1 Location Plan, Drawing Number 236 - 001, Dated 29.09.23**
 - **Plan 2 Proposed Site Plan, Drawing Number 023 -102, Dated 29.09.23**
 - **Plan 3 Proposed Sections, Drawing Number 236 - 005, Dated 29.09.23**
 - **Plan 4 Proposed Elevation, Drawing Number 236 - 106 Dated 29.09.23**
 - **Plan 5 Proposed Ground Floor Plan, Drawing Number 236 -103, Dated 29.09.**
 - **Plan 6 Proposed Roof Plan, Drawing Number 236 - 104, Dated 29.09.23**
 - **Plan 7 Design and Access Statement, Document Number 236/4.01_DAS, Dated 26.09.23**
 - **Plan 8 Sustainable Design Measures Statement, Document Number 236-4.01: SDMS-01, Dated 24.01.24**
 - **Plan 9 Site Waste Management Plan, Document Number- 236-4.01:SWMP-01, Dated 24.01.24**
 - **Plan 10 Bat Presence and Absence Survey, IOS Ecology, Ref: 23-5-5 dated 23rd**

July 2023 (Precautionary Method of Works and enhancement measures)

These are stamped as APPROVED

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

- C3 The development hereby permitted shall not be used otherwise than for the provision of seasonal staff accommodation (1st March to 31st October) in connection with St Martin's Watersports business and for no other purpose, including any other purpose in Class C3 of the Schedule to the Town and Country Planning (Use Classes) Order 2015, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification. For the avoidance of doubt the unit shall not be occupied as permanent accommodation. The owner or operator shall maintain a register of occupants for each calendar year. This shall be made available on request for inspection by any duly authorised officer of the Local Planning Authority.**

Reason: To ensure that the development is occupied as seasonal accommodation only, in accordance with Policy LC4 and Policy WC5 of the Isles of Scilly Local Plan 2015-2030

- C4 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any external lighting shall be submitted to and approved, in writing, by the Local Planning Authority. The lighting shall thereafter be installed in accordance with the agreed details.**

Reason: To protect the amenities of the locality, including the amenities of neighbouring residential properties and to protect the amenities of this rural area and preserve the dark night skies of the Isles of Scilly and the St Martins Cricket Pitch/Pool Green Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Submission Draft Isles of Scilly Local Plan (2015-2030).

- C5 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.**

Reason: In the interests of protecting the residential amenities of the islands.

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 of the National Planning Policy Framework 2023.
2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building, you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
3. This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.
4. The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately, and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are

found to be present during work, they must not be handled. Work must stop immediately, and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.

5. This planning permission has been granted on the basis that the development relates strictly to the conversion of the building(s) as shown on the approved planning application drawings forming part of this permission. Any works of rebuild or new build other than as detailed on the approved planning application drawings and any departure from these drawings will require separate planning permission and the Local Planning Authority should be notified at once in the event in works being required or having taken place outside the scope of this planning permission as such works could have the effect of invalidating the planning permission. This planning permission does not grant or imply any form of building control approval for which separate notification will be required under the Building Regulations.
6. Registering for appropriate Business Rates/Council Tax: To ensure appropriate contributions, are made to fund services provided by or on behalf of the Council on the Isles of Scilly please ensure you contact the Council's Revenues Department: revenues@scilly.gov.uk.
7. The Regulatory Reform (Fire Safety) Order 2005 applies to this permission, and the responsible person will be required to carry out a fire risk assessment to identify the risks and take reasonable measures to ensure people are safe from fire. Access for fire appliances within the site will be considered satisfactory providing it complies with Part B5 of Approved Document B. Adequate water supplies for firefighting purposes will be achieved by complying with the requirements of Part B5 of Approved Document B.

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 2nd February 2024



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Mr And Mrs Browne

Please sign and complete this certificate.

This is to certify that decision notice: P/23/103/COU and the accompanying conditions have been read and understood by the applicant: Mr And Mrs Browne.

- I/we intend to commence the development as approved:** Conversion of an existing residential store barn into seasonal staff accommodation studio apartment and the creation of an opening in the adjacent boundary wall to provide access and new PV solar panels to existing flat roof of main house at: Signal Rock Higher Town St Martin's Isles Of Scilly TR25 0QL **on:**
- ~~I am/we are aware of any conditions that need to be discharged before works commence.~~
- ~~I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.~~

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name: _____ **Contact Telephone Number:** _____
And/or Email: _____

Print Name: _____

Signed: _____

Date: _____

Please sign and return to the **above address** as soon as possible.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455

✉planning@scilly.gov.uk

THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any un-authorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £43 per application
- Other permissions - £145 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £43 for householder type applications and £293 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000.

Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall Council
Pydar House
Pydar Street
Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online: <https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

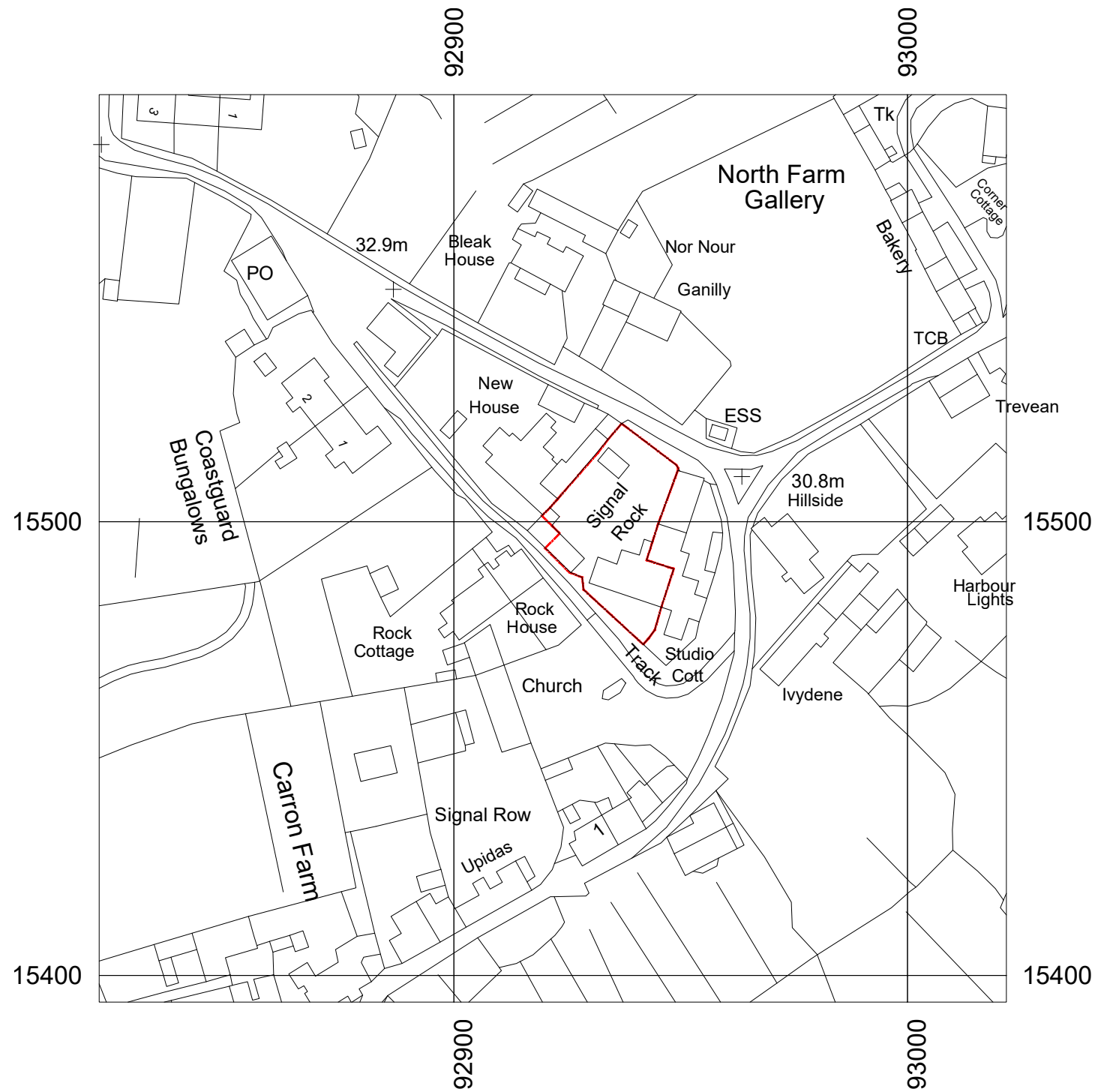
Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

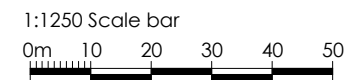
Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.



Production Date: 07 November 2023
 Top Left: 92821.822 15594.112 Bottom Right: 93021.822 15394.112
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Site Plan 1:1250

■ Application Boundary ■ Ownership Boundary



A3 Sheet Size

NOTES

- All dimensions and levels are to be checked on site by the Main Contractor before work commences.
- The Architect is to be informed immediately of any discrepancies.
- Do not scale this drawing for Construction purposes, use written dimensions only.
- Larger scale drawings are to be used over smaller scale drawings.
- All dimensions are in millimetres unless otherwise stated.
- If in doubt ask.

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Rev	Date	Notes
-	-	-

RECEIVED
 By Liv Rickman at 1:01 pm, Dec 06, 2023

APPROVED
 By Lisa Walton at 3:10 pm, Feb 02, 2024

Status
PLANNING

Client	Anna & Robin Brown		
Project	236 Signal Rock, St Martin's, Isles of Scilly TR25 0QL.		
Title	Site Plan		
Scale	1:1250 @ A3	Drawn by	JC
Date	29.09.2023		
Drawing Number	236 - 001	Revision	.

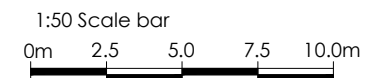
Tremough Innovation Centre, Penryn, TR10 9TA, Cornwall
 T: 01326 567212 E: info@kohaarchitects.com





Proposed Site / Block Plan

1:250



A3 Sheet Size

NOTES

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Rev	Date	Notes
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RECEIVED
 By Liv Rickman at 1:24 pm, Dec 06, 2023

APPROVED
 By Lisa Walton at 3:19 pm, Feb 02, 2024

Status
PLANNING

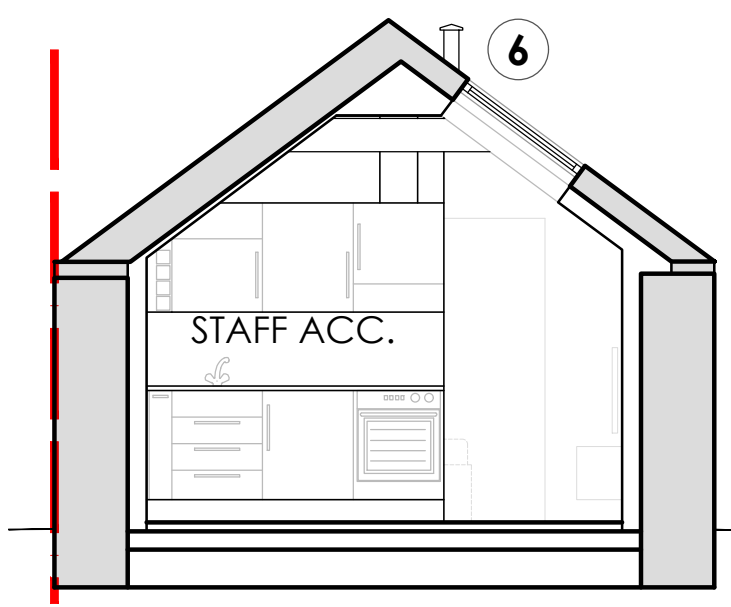
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Project	236 Signal Rock, St Martin's, Isles of Scilly TR25 0QL.		
Title	Proposed Site / Block Plan		
Scale	1:250 @ A3	Drawn by	JC
Date	29.09.2023		
Drawing Number	236 - 102	Revision	.

Tremough Innovation Centre, Penryn, TR10 9TA, Cornwall
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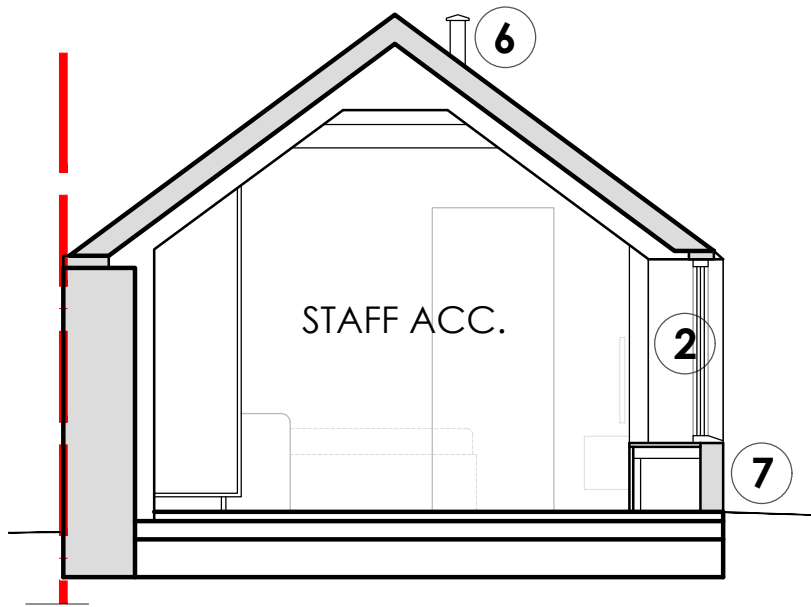


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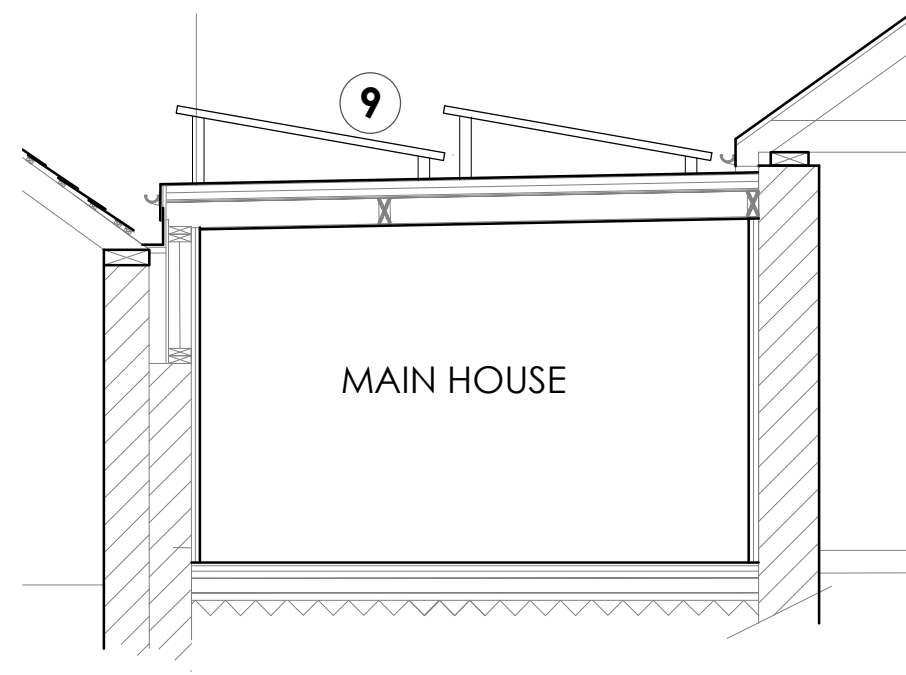
Rev	Date	Notes
-	-	-



Section B-B 1:50



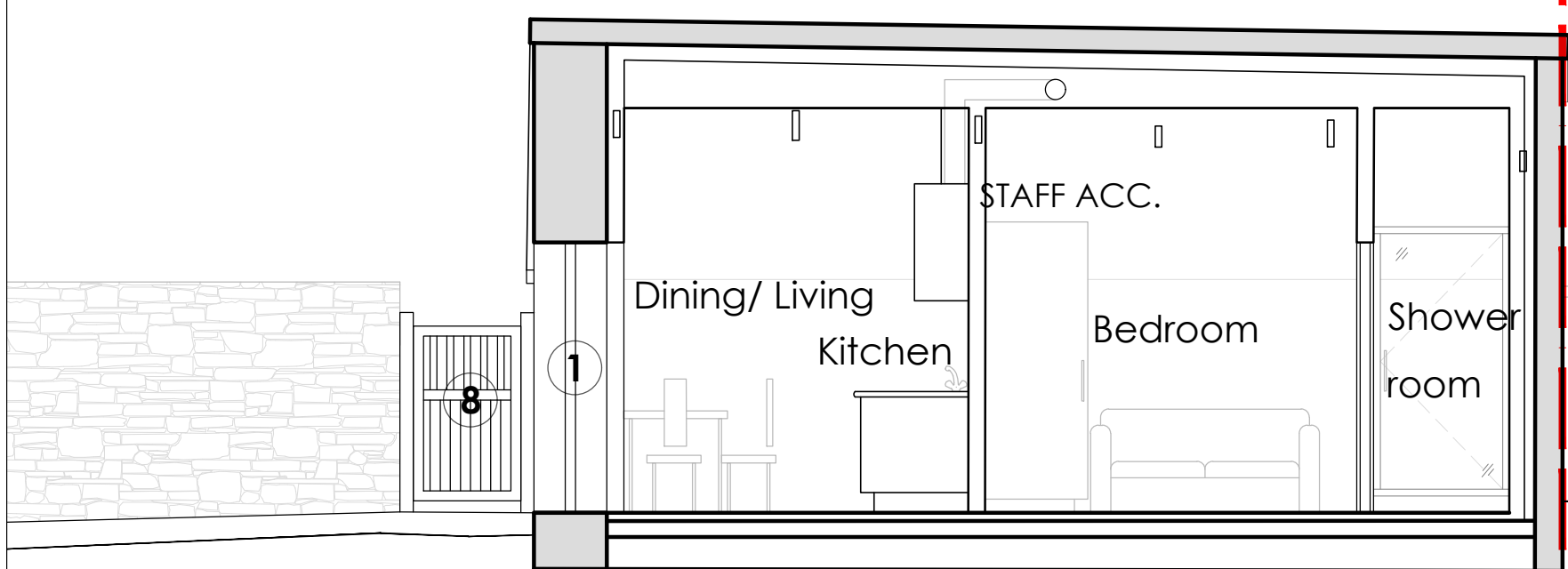
Section C-C 1:50



Section D-D 1:50

APPROVED
 By Lisa Walton at 3:20 pm, Feb 02, 2024

RECEIVED
 By Liv Rickman at 1:30 pm, Dec 06, 2023



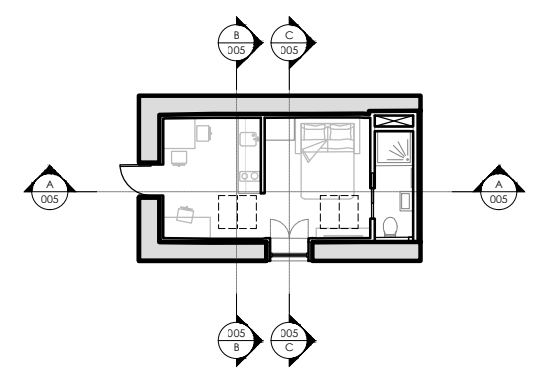
Section A-A 1:50

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PLANNING

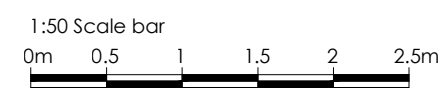
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Project	236 Signal Rock, St Martin's, Isles of Scilly TR25 0QL.		
Title	Proposed Sections		
Scale	1:50 @ A3	Drawn by	JC
Date	29.09.2023		
Drawing Number	236 - 005	Revision	.

Tremough Innovation Centre, Penryn, TR10 9TA, Cornwall
 T: 01326 567212 E: info@kohaarchitects.com

Proposed Sections 1:50



- KEY to NUMBERS
- 1. New glazed door (upvc dark grey)
 - 2. New Glazed window (upvc dark grey)
 - 3. New conservation roof-lights
 - 4. New internal dry lining
 - 5. TV
 - 6. Vent extract piperwork (black metal)
 - 7. Painted timber boarding (black)
 - 8. Close boarded framed ledged and braced timber gate
 - 9. pv solar panels mounted on flat roof



APPROVED
By Lisa Walton at 3:20 pm, Feb 02, 2024

RECEIVED
By Liv Rickman at 11:53 am, Dec 06, 2023

A3 Sheet Size

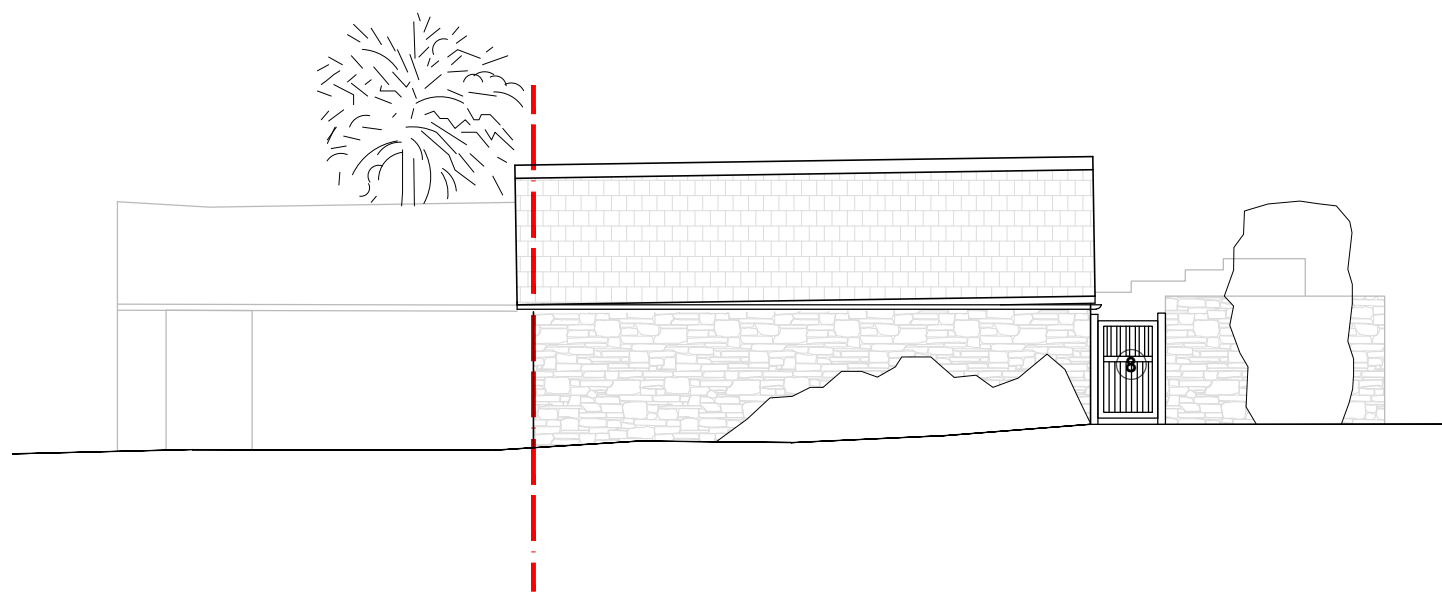
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Rev	Date	Notes
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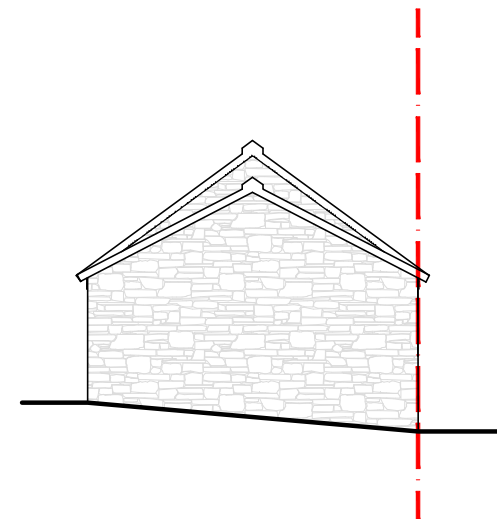
Status
PLANNING

Client	Anna & Robin Brown		
Project	236 Signal Rock, St Martin's, Isles of Scilly TR25 0QL.		
Title	Proposed Elevations		
Scale	1:100 @ A3	Drawn by	JC
Date	29.09.2023		
Drawing Number	236 - 106	Revision	.

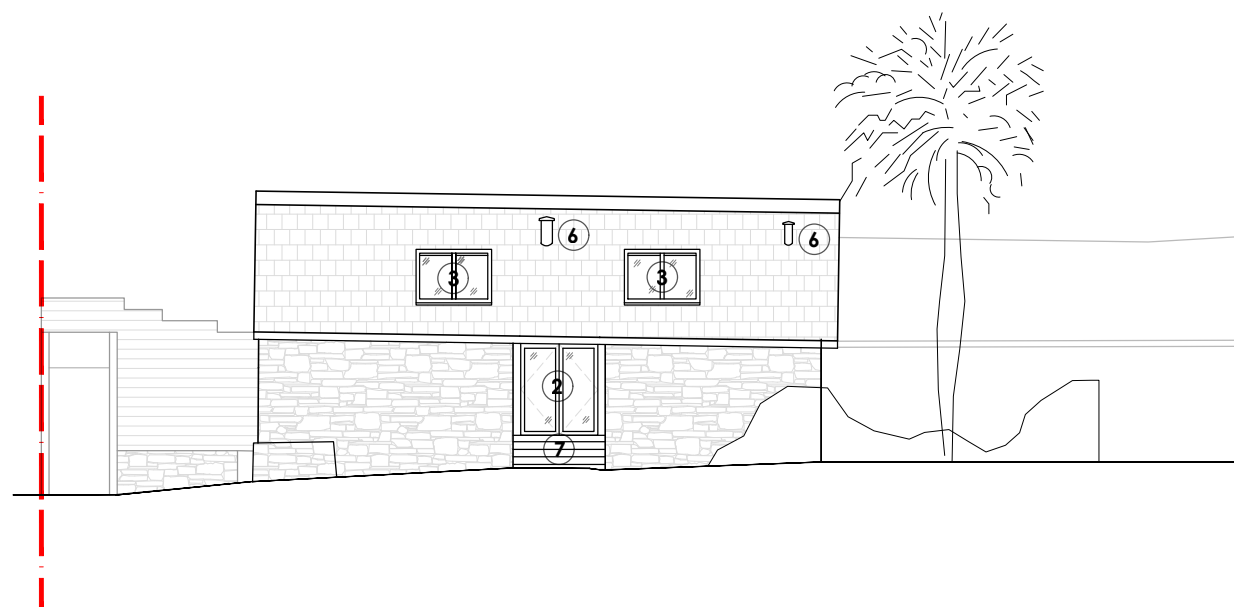
Tremough Innovation Centre, Penryn, TR10 9TA, Cornwall
 T: 01326 567212 E: info@kohaarchitects.com



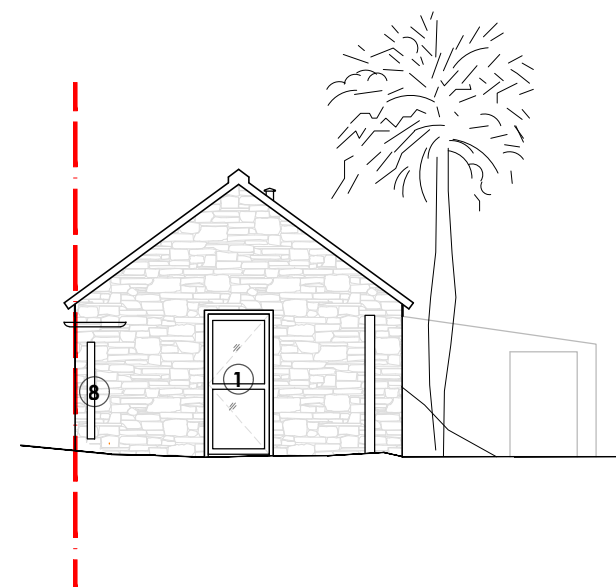
Proposed South West Elevation



Proposed North West Elevation



Proposed North East Elevation

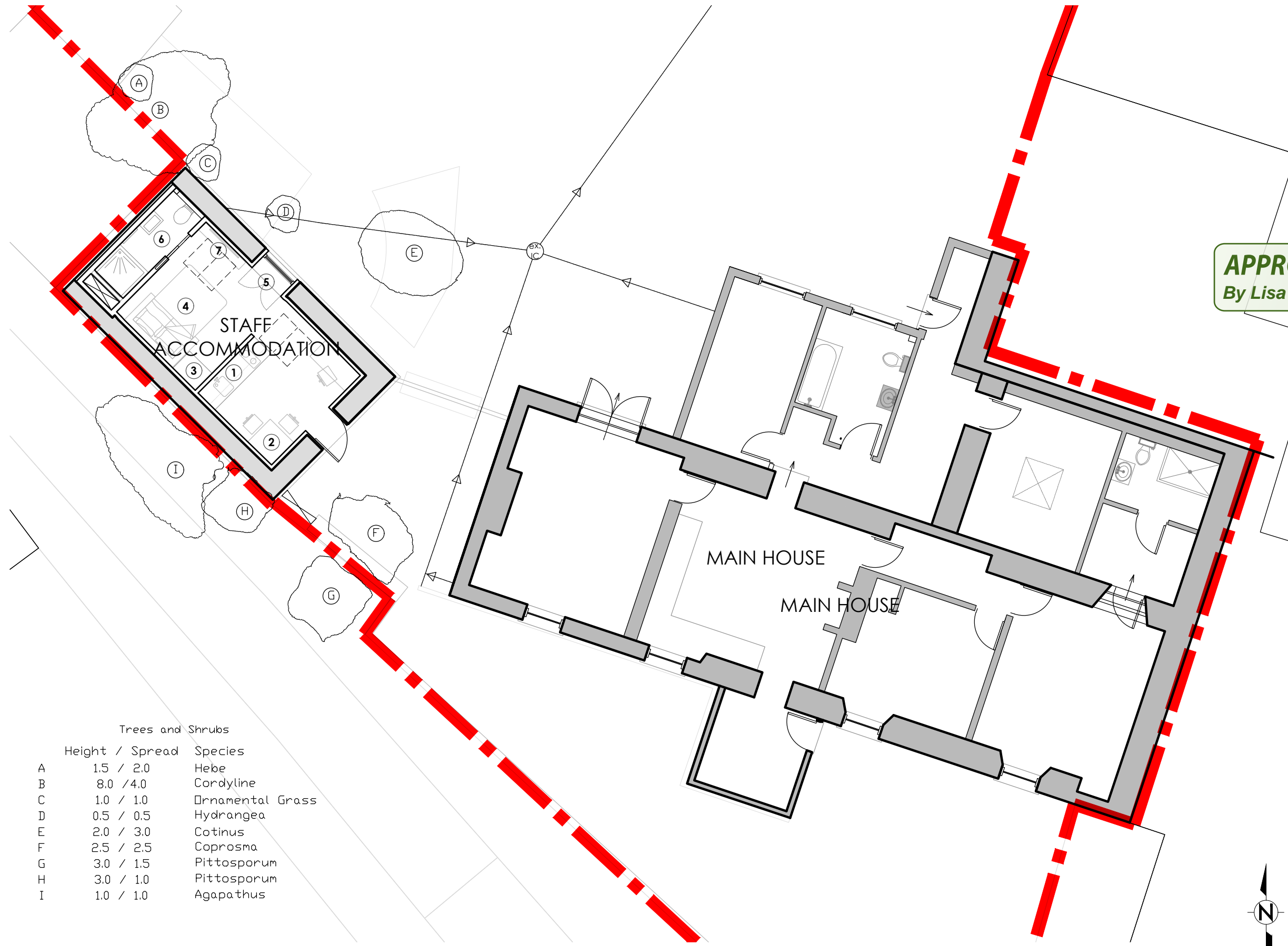


Proposed South East Elevation

Proposed Elevations 1:100

- KEY to NUMBERS
- | | |
|---------------------------------------|---|
| 1. New glazed door (upvc dark grey) | 5. TV |
| 2. New Glazed window (upvc dark grey) | 6. Vent extract piperwork (black metal) |
| 3. New conservation roof-lights | 7. Painted timber boarding (black) |
| 4. New internal dry lining | 8. Close boarded framed ledged and braced timber gate |
| | 9. pv solar panels mounted on flat roof |





A3 Sheet Size

- NOTES
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Rev	Date	Notes
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RECEIVED
By Liv Rickman at 1:30 pm, Dec 06, 2023

APPROVED
By Lisa Walton at 3:20 pm, Feb 02, 2024

Status
PLANNING

Client
Anna & Robin Brown

Project
236 Signal Rock,
St Martin's,
Isles of Scilly
TR25 0QL.

Title
Proposed Ground Floor Plan

Scale
1:100 @ A3

Drawn by
JC

Date
29.09.2023

Drawing Number
236 - 103

Revision
.

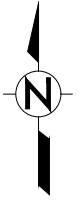
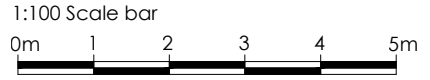
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Trees and Shrubs

Height / Spread	Species
A 1.5 / 2.0	Hebe
B 8.0 / 4.0	Cordyline
C 1.0 / 1.0	Ornamental Grass
D 0.5 / 0.5	Hydrangea
E 2.0 / 3.0	Cotinus
F 2.5 / 2.5	Coprosma
G 3.0 / 1.5	Pittosporum
H 3.0 / 1.0	Pittosporum
I 1.0 / 1.0	Agapathus

Proposed Ground Floor Plan 1:50

- KEY to NUMBERS
- | | |
|---------------------------------------|---|
| 1. New glazed door (upvc dark grey) | 5. TV |
| 2. New Glazed window (upvc dark grey) | 6. Vent extract piperwork (black metal) |
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NOTES

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Rev	Date	Notes

RECEIVED
By Liv Rickman at 1:31 pm, Dec 06, 2023

APPROVED
By Lisa Walton at 3:21 pm, Feb 02, 2024



Status
PLANNING

Client	Anna & Robin Brown		
Project	236 Signal Rock, St Martin's, Isles of Scilly TR25 0QL.		
Title	Proposed Roof Plan		
Scale	1:100 @ A3	Drawn by	JC
Date	29.09.2023		
Drawing Number	236 - 104	Revision	.

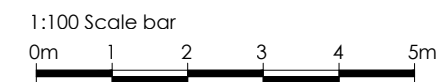
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Proposed Roof Plan 1:100

KEY to NUMBERS

- | | |
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| - - - | 9. pv solar panels mounted on flat roof |



DESIGN AND ACCESS STATEMENT

PROJECT: Signal Rock Stables, St Martins, TR25 0QL
DOC. NO: 236/4.01_DAS
DATE: 26th September 2023

RECEIVED

By Liv Rickman at 11:35 am, Dec 06, 2023

APPROVED

By Lisa Walton at 3:21 pm, Feb 02, 2024

Prepared by Koha Architects Ltd



Figure: 01 Photo Of Signal Rock Stables From Signal Rock



CONTENTS

This statement is to support the planning application for Signal Rock Stables, St Martins, TR25 0QL

1.0 JUSTIFICATION OF CHANGE OF USE

1.1 CHANGE OF USE

1.2 NEIGHBOURING EXAMPLES

2.0 SITE

2.1 CONTEXT

2.2 ACCESS

2.3 HISTORY

3.0 PROPOSAL

3.1 SUITABILITY FOR CONVERSION

3.2 LAYOUT CONSIDERATIONS

3.2 ACCESS

3.3 MATERIALITY

3.4 ENERGY

SUPPORTING & REFERENCE DOCUMENT

This Design and Access Statement is to be read in conjunction with:

- *Drawing No.s: 236/001, 002, 003, 004, 005, 006, 102, 103, 104, 105, 106*
- *Structural Survey Report by Douglas Cawley & Associates Ref: DRC/23/114*

1.0 JUSTIFICATION OF CHANGE OF USE

1.1 ST MARTIN'S WATERSPORTS

St Martin's Watersports was started in 2018 with assistance from the Isles of Scilly Voucher Scheme, to hire out paddle-boards and kayaks to visitors. The business was awarded Commended in 2020 in the Cornwall Tourism Awards, Best New Business. It operates from April to October, Sunday to Friday.

Anna works on the beach five days a week and also has a role of Quality Scientist with South West Water. This involves working one day a week in the summer rising to two days a week in the winter. Robin has a role with South West Water, operating the water treatment facilities on St Martin's. This role is part time, one week on one week off. Robin is able to cover the beach work on the day that Anna works on St Mary's. However, if there is a water emergency this would be his priority. As the business has grown so has the requirement for staff.

In the past, the business was fortunate enough to be able to

provide work for those working at Adam's fish and chips, providing employment during the day to supplement their evening hours. Adam's fish and Chips provide accommodation for their staff.

However, with the current staff situation, especially with those who work both jobs, the remaining 2:30 hours to reach the closing time of 5pm are unable to be covered. This time is required to allow them time off between roles. This provides a requirement for a second full time member of staff at St Martins Watersports.

Converting the Stable into staff accommodation provides a guaranteed accommodation for the extra full-time staff. This will ensure the continued success of St Martin's Watersports therefore, benefiting the visitor experience for those not only staying on St Martin's but also visitors to the other islands.

1.0 JUSTIFICATION OF CHANGE OF USE

1.2 NEIGHBOURING EXAMPLES

Within close proximity of Signal Rock stables are two examples of a similar conversions.

POLREATH'S STAFF ACCOMMODATION

Signal Rock Stable's party wall barn has been previously converted, and now is accommodation for Polreath's staff. The exterior has been kept as close to the original as possible, with only the addition of gutters and original main entrance has been kept the same, opening out towards the Concrete paved lane adjacent from Rock Cottage (figure: 03).

STUDIO COTTAGE BARN

The Barn outbuilding at Studio Cottage was recently developed by the Duchy of Cornwall.



Figure: 03 Polreath's Staff Accommodation

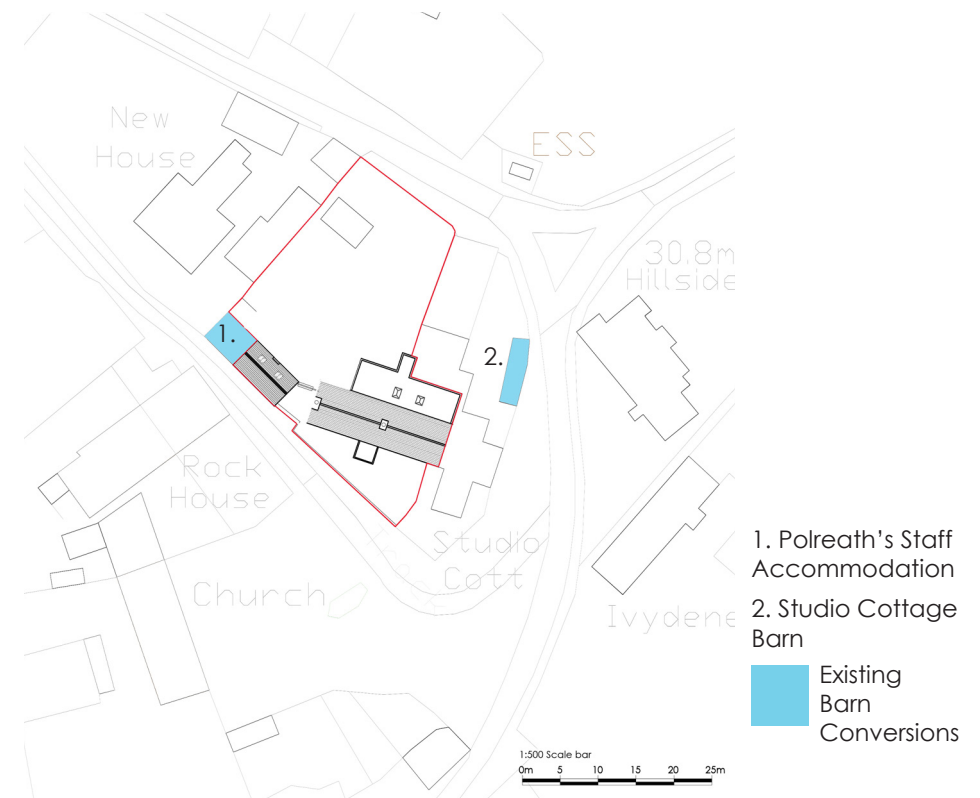


Figure: 02 Map of Signal Rock Showing Neighbouring Examples



Figure: 05 View From The Front Garden Of Signal Rock Showing The Rock That The Property Is Named After, With Views Across The Bay Towards The Eastern Isles.

2.1 SITE CONTEXT

Signal Rock shares a boundary with Polreath to the west and Studio Cottage to the east. The property boundary to the south is a partially concrete paved lane that leads to St Martin's Post Office towards the Northwest. The north boundary is the main road between Higher Town Quay and Lower Town Quay.

2.2 SITE ACCESS

As with most of the Scilly Isles, the predominant mode of transportation is pedestrian. As seen in figure: 06, the property is situated between the main access road and a small concrete track. Access to the beach, from the property is down the main road south, while access to Signal Rock Stables is via the rear garden of signal rock, accessed from a gateway onto the main road.



Figure: 06 Map of Signal Rock Showing Main Access Routes

2.3 SITE HISTORY

Located in within a cluster of buildings that have a high historical significance, some of which have been given a Grade II listing, the site has originated from a farmstead and is now part of a cluster of buildings that forms a U shape, opening up views across the bay towards the eastern isles.

ROCK HOUSE

Built in c.1822, Rock House is a Traditional double fronted granite cottage, sporting, sliding sash windows, opened beamed ceilings and a large granite inglenook fireplace (figure: 08). This was first given a Grade II listing on the 14-Dec-1992 (List Entry Number: 1141208).

METHODIST CHURCH

Built in c.1845 to serve its neighbouring property around Signal Rock. The Methodist Church is of a Stucco blocked out as ashlar over granite rubble construction, with a hipped scantle slate roof (figure: 09). This was first given a Grade II listing on the 14-Dec-1992 (List Entry Number: 1218371).



Figure: 07 Map of Signal Rock Showing Nearby Grade II Listed Buildings

2.0 SITE



Figure: 08 Rock House



Figure: 09 Methodist Church



Figure: 10 Signal Rock House



Figure: 11 Signal Rock Stables

2.3 SITE HISTORY

SIGNAL ROCK (BUNGALOW)

Originally a two-storey granite cottage, similar to Rock House and estimated to be built around the same period, Signal Rock has had extensive modifications, alterations and extensions over its lifespan, to turn it into the large bungalow it is today (figure: 10).

SIGNAL ROCK STABLES

Estimated to be built within the same period as the cluster of buildings, Signal Rock Stables was built as an out building to serve Signal Rock. Currently used to store domestic goods for the property owner. This is believed to be of the same purpose as the previous occupant for at least 20 years. (figure: 11).

3.0 PROPOSAL - REFER ALSO TO DRAWINGS

3.1 SUITABILITY FOR CONVERSION

PROPOSED CHANGE OF USE

The change of use proposed in this planning application is to change the existing Stables, currently used as a domestic store for Signal Rock House (class C3a), into a separate dwelling house, occupied seasonally, between April to October (a C3a in its own right).

STRUCTURAL

Upon interest in conversion, Signal rock Stables has had a structural survey carried out to inspect the condition of the walls, roof and floor to determine the suitability for change of use (appendix: 01). The conclusions to the report are as follows:

"It is fair to conclude that the roof coverings and supporting roof timbers are waterproof and in a sound condition."

(Figure: 12)

"It is fair to conclude that the walls are in a sound structural condition. As stated there is no excessive bulging or cracking and no viable sign of any subsidence." *(Figure: 13)*

"It is therefore fair to conclude that The Stable at Signal Rock, St Martian's, IOS, Cornwall TR250QL are in a satisfactory structural condition for a change of use to a residential unit."



Figure: 12 Internal View Of The Roof Structure Of The Barn.



Figure: 13 External View Of Barn Wall Build-up.

3.0 PROPOSAL - REFER ALSO TO DRAWINGS

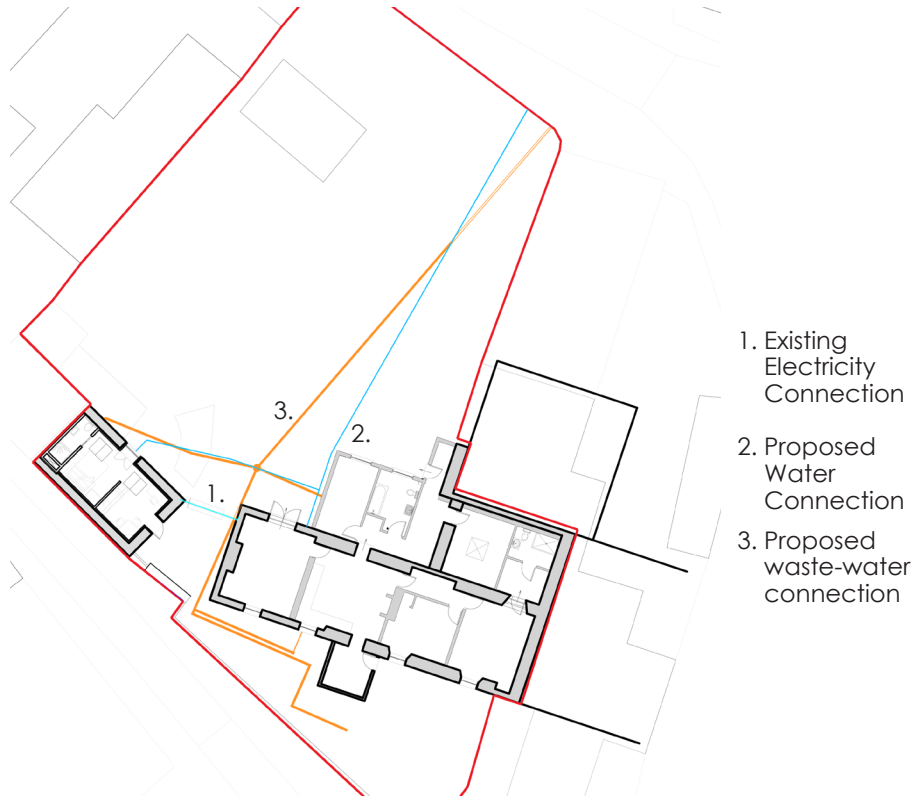


Figure: 14 Site Block Plan Showing Proposed And Existing Connections

3.1 SUITABILITY FOR CONVERSION CONNECTIONS

Please refer to Figure: 14 for the position of the proposed connections.

The Stables has been already connected to electricity via Signal Rock, which currently is being used for the purpose of spacial lighting, and a double socket located within the outbuilding (figure 12).

Freshwater is proposed to be connected via a junction from the existing house supply. This junction is then ran into the Stables through the existing door under the proposed floor construction.

Waste water is proposed to join Signal Rock's drainage system via a new connection into an existing IC. This system ends in a septic-tank shared by multiple properties.

3.0 PROPOSAL - REFER ALSO TO DRAWINGS

3.2 LAYOUT CONSIDERATIONS

Due to the small scale, two main decisions defined the internal layout (Figure:15), the position of the door and the position of the kitchen.

The reason of the decision to relocate the door was twofold, the lack of head clearance of the existing door at the side of the property and the organisational layout issues that it provided. By enlarging the existing window at the gable end of the Stable, to create a door, produces both a private entranceway, separating Signal Rock's rear garden from the stable, and a more practical organisation of spaces by removing the need for dedicated Circulation space.

Furthermore, using the kitchen as a partition separating the living and studio bedsit spaces allows for a soft decision of spaces as well as solving the head clearance issue, only exaggerated by the fit out works required to turn an outbuilding into a habitual space. The position of the kitchen was determined with the consideration of allowing as much light as possible to penetrate from the proposed window seat.

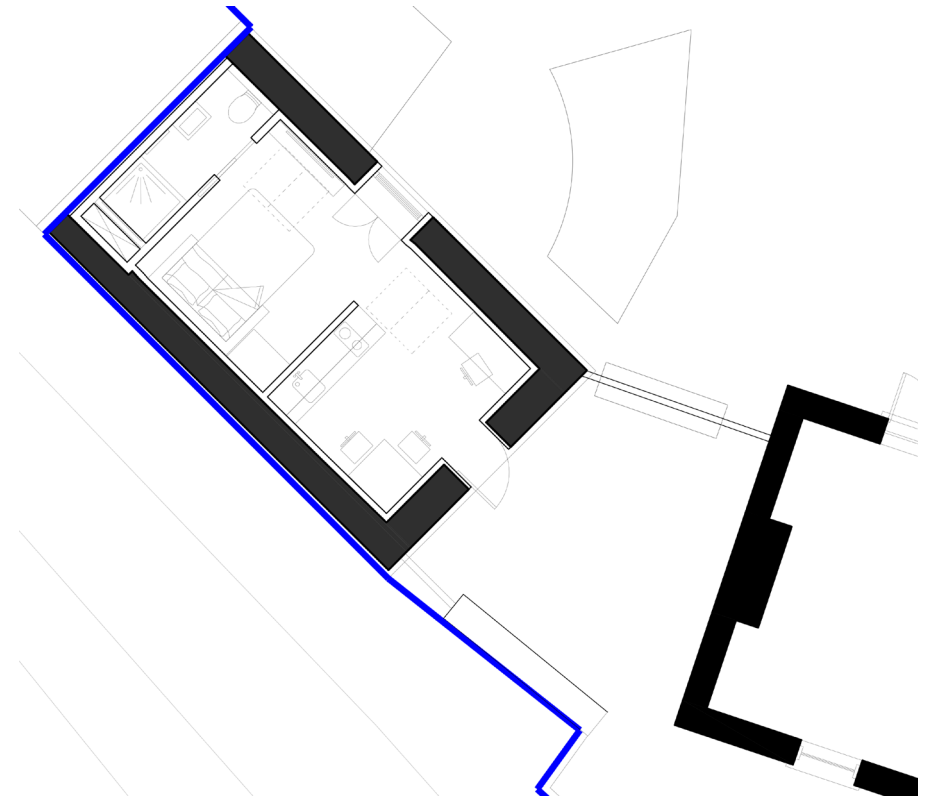


Figure: 15 Proposed Ground Floor Plan

3.0 PROPOSAL - REFER ALSO TO DRAWINGS



Figure: 15 Site Block Plan Showing Proposed Access Routes.

3.3 PROPOSED ACCESS

A small section on the boundary is proposed to be demolished to make provision of a pedestrian access gate. This gate will service the converted Stables, providing dedicated access, as well as distancing it from Signal Rock, reducing the chance of staff movements disturbing the occupier of the main house. Furthermore, the relocation of the gate also reduces the journey time to the beach (work location), allowing for a more efficient use of time.

3.4 MATERIALITY

The existing external materiality of the Stables was aimed to be kept as original as possible, especially on the side adjacent to the Listed buildings. To do this, the interior spaces are to be studded out and dry-lined. Furthermore, any alterations to the roof, such as the provision of skylights and vents are to be placed on the north western, (garden side) of the property.



Figure: 16 Proposed Street Elevation Showing Access Gate

3.0 PROPOSAL - REFER ALSO TO DRAWINGS

3.4 MATERIALITY

- Walls: Natural Stone as existing
- Roof: Concrete Tiles as existing
- Guttering: Black uPVC to match adjoining barn conversion
- Glazed Door: uPVC/glass
- Windows: uPVC/glass (some with composite panel below window)
- Roof-lights: Velux in grey.



Figure: 17 Natural Stone Walls



Figure: 18 Concrete Tiled Roof



Figure: 19 Vellux Roof-lights



Figure: 20 Font Door

3.0 PROPOSAL - REFER ALSO TO DRAWINGS

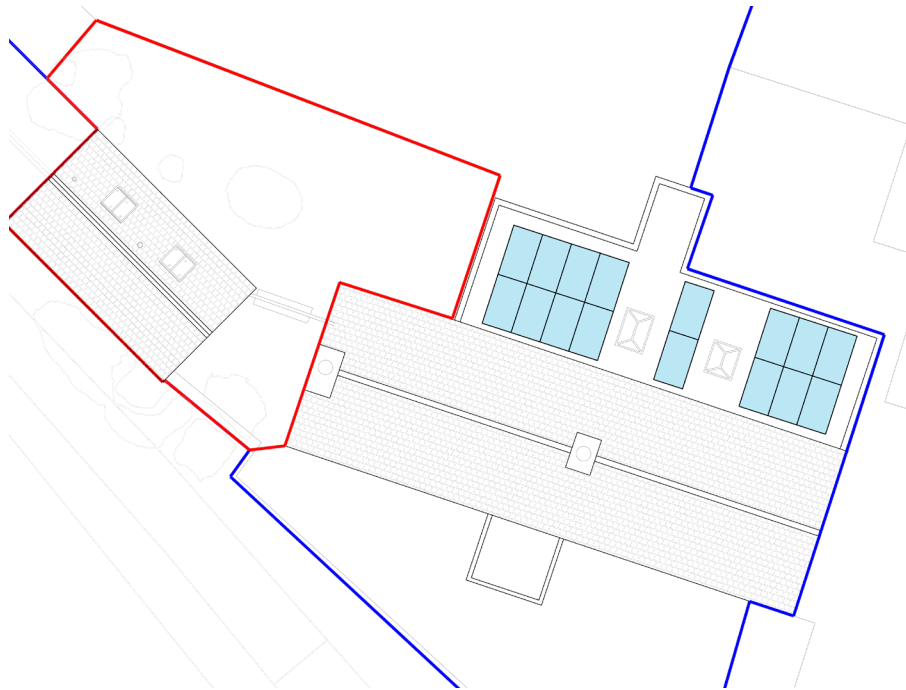


Figure: 21 Proposed Site Plan With Location Of Proposed Solar Panel Array Position.

3.5 ENERGY

Despite the creation of more habitable space, the additional total energy consumption after Signal Rock after the Stables conversion will be minimal. This is due to the seasonal nature of the properties use (April to October), the nature of which, produces a low heating demand, further reduced by the efficient insulated makeup of the proposed construction, as per building standards.

This energy demand is met via the use of electricity produced via the addition of a proposed solar array on the flat roof of Signal Rock (Figure: 21). The addition of a solar array on the barn itself is not feasible due to the close proximity of the Grade II listed buildings on the southern side, as well as the inefficiency of the panels on the sloped north eastern roof slope.

RECEIVED

By Liv Rickman at 1:45 pm, Jan 25, 2024

APPROVED

By Lisa Walton at 3:22 pm, Feb 02, 2024



Sustainable Design Measures Statement

236-4.01:SDMS-01

for

Signal Rock Stables, St Martins, TR25 0QL

24th January 2024

Energy Sustainability:

Throughout its development, the proposal has incorporated many features that minimize its energy demand including:

- the seasonal nature of the properties use (April to October), during typically the hottest months of the year, reduces the amount of energy required to heat the property to liveable temperatures;
- the fully glazed front door on the South Eastern Elevation maximises the potential for solar heating to improve the natural temperature of the property.
- Efficient insulated makeup for the walls, roof and floor of the proposed construction (as per building regulation standards or better.)

The minimal energy loads required by the heating and seasonal use of the proposal will be met and or further mitigated by the new solar array that is proposed to be installed on Signal Rock's existing extension's roof. Excess energy can be also used by Signal Rock to reduce their demand from the existing 40 Amp Supply with Economy 7.

Water Sustainability:

Surface water is currently being collected by 2 x 220 Litre water butts for both sides of the roof of Signal Rock. An additional water butt is proposed to collect water from the roof of the converted Stables building. The water from these butts will be used in the garden of Signal Rock and for the courtyard garden of the converted Stable.

Water saving taps and appliances are proposed to be installed to reduce consumption and therefore mitigate additional burden on Signal Rock's existing drainage system.

Sustainability Through Design & Construction:

The reuse and recycling of existing materials on site reduces the embodied energy of the proposal by limiting the incorporation of new materials and their transport and away from site, to a bare minimum. Refer to Site Waste Management Plan for details.

Embodied energy use is further reduced by the proposed use of sustainable and locally sourced materials, such as wood fibre insulation (an insulation that is recycled and recyclable).

END

RECEIVED

By Liv Rickman at 1:45 pm, Jan 25, 2024

APPROVED

By Lisa Walton at 3:22 pm, Feb 02, 2024



Site Waste Management Plan

236-4.01:SWMP-01

for

Signal Rock Stables, St Martins, TR25 0QL

24th January 2024

Description of Project:

Conversion of an existing store barn into seasonal staff accommodation studio apartment. Creation of a new access in boundary-wall and new PV panels onto existing main house flat roof.

Address of Property:

Signal Rock Stables, St Martins, TR25 0QL

Details of where this plan will be kept on site:

The latest edition of the SWMP will be stored on site and online to allow immediate access.

Project Start Date:

TBC

Anticipated Project End Date:

TBC

Estimated Duration:

TBC

Clients:

Anna & Robin Browne

Principle Contractor:

TBC

Originator:

TBC

Person responsible for delivery of the Site Waste Management Plan:

Robin Browne

Construction Waste Minimalisation:

The following measures have been identified to minimise the quantity of waste produced during this project:

- The site area is adequate for construction waste to be segregated on site before being sorted.
- Re-useable materials will be identified, reused where applicable in construction and stored on site for future use.
- The Local stone and earth is to be reused in landscaping projects on site.
- The removed and demolished clay roof tiles will be reused on site for hardcore/ drainage.
- The existing Glazing unit will be offered locally for re-use in horticulture etc.
- Recyclable / recoverable materials will be disposed via the Council waste management centre on St Martin's. This waste is then transferred for St Mary's for disposal at the waste management centre for all Scilly off islands if these facilities are not available waste will be shipped to the mainland for onward processing at a licenced facility.
- If any materials are found to be "notifiable asbestos material" and will be removed by licensed contractors and sent to the mainland for disposal at the nearest licensed site.

Construction Waste Estimates:

Waste will comprise:

- Local Stone
- Timber
- Single-glazed glass panels
- Clay roof tiles
- Displaced earth.

In-Use Waste Management:

The occupant will have recycling bins that are stored outside adjacent to the boundary wall in the courtyard/ garden of the staff accommodation. These include bins for, plastics and cans cardboard and paper.

There will also be a compost bin for food and compostable waste. Compostable waste will be collected separately and added to Signal Rock's compost heap to be used in the garden.

All other waste will be disposed of utilising the council weekly waste collection on St Martin's. Collected in the same location as the waste collected from Signal Rock.

END

APPROVED

By Lisa Walton at 3:22 pm, Feb 02, 2024

RECEIVED

By Liv Rickman at 11:49 am, Dec 06, 2023

BAT PRESENCE/ABSENCE SURVEYS (PAS)

SIGNAL ROCK STABLE BLOCK HIGHER TOWN, ST MARTIN'S, ISLES OF SCILLY



Client: Anna Browne

Our reference: 23-5-6

Planning reference: Produced in advance of submission

Report date: 23rd July 2023

Author: James Faulconbridge BSc (Hons), MRes, MCIEEM

Contact: ios.ecology@gmail.com

Executive Summary

Overview
<p>A total of one Presence/Absence Survey (PAS) was undertaken on the stable block associated with Signal Rock in St Martin's, Isles of Scilly. The purpose of the survey was to provide an evidence base which meets Best Practice Guidance following the initial findings of the Preliminary Roost Assessment (PRA) which was completed in May 2023.</p> <p>The results of the PAS survey are provided in this report which should be read alongside the PRA to provide a comprehensive assessment of the building with regards to bats.</p>
Results
<p>The surveys did not identify any bats emerging from the property.</p> <p>The surveys generally recorded moderate levels of foraging by common pipistrelle bats, predominantly offsite to the south of the property. No other bat species were recorded.</p>
Conclusion
<p>The survey evidence accords with the Best Practice Guidance requirements to conclude 'Probable Absence' of bats.</p> <p>No further surveys are required and there is no requirement for a European Protected Species Mitigation Licence (EPSML).</p>
Mitigation Strategy
<p>It would be appropriate to ensure that works are undertaken with due regard for the unlikely eventuality that bats may make transient use of roosting features identified in the PRA report – the conclusion of 'likely absence' does not preclude the possibility of occasional use of features by bats on an exploratory/opportunistic basis.</p> <p>A Precautionary Method of Works (PMW) is therefore provided in Appendix 1. This should be followed during works to ensure legislative compliance on the part of the contractors.</p> <p>If the applicant wishes to provide biodiversity enhancement, a bat box could be erected on the dwelling or within the grounds of the property. Guidance on suitable specifications is provided.</p>
Planning Recommendations
<p>A Planning Condition requiring compliance with the PMW outlined in Appendix 1 could be attached to a Decision Notice at the discretion of the LPA.</p> <p>The PRA and PAS reports together provide an appropriate ecological baseline for the purposes of assessing the Planning Application. No further surveys would be required.</p> <p>This report provides an appropriate baseline to inform Planning and allow works to take place within the next 12 months. After July 2024, if works have not commenced, an update should be undertaken.</p>

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1. Introduction

1.1. Background to Surveys

The building under survey is a stable block set within the garden of Signal Rock in Higher Town on St Martin's, Isles of Scilly. The proposed schedule of works involve the conversion of the building to provide staff accommodation.

A Preliminary Roosting Assessment (PRA) was carried out in May 2023 – this assessment identified low potential for use by roosting bats.

The PRA report stated that further PAS surveys would be required to provide an evidence base sufficient to identify the status of the buildings with regards to bats, and inform any mitigation measures required to ensure legislative compliance. This PAS report provides the results of the recommended surveys. It should be read alongside the PRA report to provide a comprehensive assessment of the building with regards to roosting bats.

1.2. Survey Objectives

In accordance with the Best Practice Guidance¹, the building was subject to one PAS survey with two surveyors positioned to observe those locations where potential access or roosting features were identified.

The survey also aimed to watch the attached offsite building for any signs of emerging bats in order to take into account potential impacts relating to indirect disturbance effects.

The overall objective is to provide a comprehensive baseline upon which to assess the potential impact of the proposed re-roofing works to roosting bats.

¹ Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn). The Bat Conservation Trust, London.

2. Survey Methodology

2.1. Surveyor Details

The survey was led by James Faulconbridge. James is a Level 2 licenced bat worker with over 15 years' experience in undertaking emergence, re-entry and activity surveys.

Additional surveyors are experienced in undertaking emergence and re-entry surveys and worked under the supervision of the Licenced Bat Worker.

2.2. Survey Methodology

The dusk emergence surveys were conducted following Best Practice methodology for bat surveys.

The dusk emergence surveys commenced from approximately 20 minutes before sunset and continued until 90 minutes after sunset. The survey was undertaken with regard for the appropriate weather conditions ($\geq 10^{\circ}\text{C}$ at sunset, no/light rain or wind).

Frequency division bat detectors were used to detect and record all bat passes. The surveyors recorded metadata including the time the pass occurred, the behaviour observed (foraging/commuting) and where possible, the species of bat observed. Results from the bat detector recordings were analysed using BatSound/Analook sonogram analysis computer software.

2.3. Survey Validity and Update

Bats are transient in their use of habitats such as these, and apparently minor changes in condition or use of the building can affect suitability. However in the absence of significant changes in condition or building use, the nature and character of the site suggest that the PAS survey can be considered valid for a period of 12 months after the survey was completed, until July 2024.

3. Results

3.1. Surveyor Positions

In order to ensure that the different elements of the building were surveyed comprehensively in line with the Best Practice Guidance, a total of two surveyor positions were identified. These are identified in Map 01 below.



Map 01 – showing surveyor positions around the building.

3.2. PAS Survey 1

3.2.1. Survey Conditions

The dusk survey was undertaken on 20th July 2023. The survey commenced at 21:04, approximately 20 minutes before sunset at 21:24. It was completed at 22:54.

The temperature throughout the survey was 15°C. The evening was calm, dry and clear with 5% high cloud. There was no precipitation throughout the survey.

3.2.2. Survey Results

The emergence survey did not identify any emergence activity associated either with either the stable block or the offsite outbuilding attached on the north-western aspect.

The surveyor in Position S2 recorded regular foraging in lane to the south of the site from 22:03 until the end of the survey. The surveyor in position S2 recorded only occasional, brief bat passes towards the end of the survey.

All recorded bat passes were common pipistrelle – no other species were recorded.

3.3. Summary and Evaluation

3.3.1. Overview

The surveys did not identify any bats emerging from the building – this is sufficient to conclude ‘Likely Absence’ in accordance with the Best Practice Guidance.

The surveys showed moderate levels of foraging activity by common pipistrelle in the environs of the property.

3.3.2. Requirement for Further Surveys

No further surveys are required to provide an appropriate ecological baseline in accordance with the Best Practice Guidance.

3.4. Limitations and Constraints

3.4.1. Seasonal Timing

The timing of the surveys was within the Best Practice window of late-May to early-September.

3.4.2. Survey Conditions

The weather conditions were optimal with no precipitation or other adverse conditions which might be expected to affect bat behaviour.

3.4.3. Visibility and Coverage

The surveys were comprehensive with regards to surveyor visibility of all potential features identified in the PRA survey.

4. Mitigation Strategy

4.1. EPSML Requirement

The project does not require an European Protected Species Mitigation Licence (EPSML) to proceed.

4.2. Precautionary Method of Works

As individual bats can be exploratory or make transient use of roosting opportunities, it is important that contractors undertaking the proposed works are aware of the unlikely risk for bats to be encountered - works should therefore proceed with appropriate caution and vigilance.

A Precautionary Method of Works (PMW) is outlined in Appendix 1 of this document and should be followed by contractors undertaking works.

4.3. Timing of Works

4.3.1. Bats

The results of the PRA/PAS surveys do not indicate that there is a requirement for seasonal constraints on the timing of works with regards to bats.

4.3.2. Nesting Birds

Assessment of potential for nesting birds, and appropriate mitigation measures, are provided in the PRA report. These recommendations are not repeated here, for brevity.

4.4. Habitat Enhancement / Mitigation

4.4.1. Bats

If the applicant wishes to provide biodiversity enhancement, the established trees within the garden of the property would offer an ideal location to install a bat box. This should be positioned above 3m from the ground to minimise the risk of predation. An open-based box design would ensure that it would not require cleaning. The location would be optimal for bats such as common pipistrelle which is the dominant species present on the island and the most likely species to use the environs for foraging and roosting, as confirmed by the PAS survey.

A suitable box could be purchased or constructed following freely available plans. Kent Bat Box style boxes are slim and easy to construct from appropriate timber using the plans provided at:

<http://www.kentbatgroup.org.uk/kent-bat-box.pdf>

4.4.2. Nesting Birds

Recommendations relating to nesting habitat retention or creation works for breeding birds are provided in the PRA report. These recommendations are not repeated here, for brevity.

APPENDIX 1 - PRECAUTIONARY METHOD STATEMENT WITH REGARDS TO BATS

The purpose of this Method Statement is to ensure that proposed works can proceed where presence of bats has been determined to be unlikely, but a precautionary approach is still advisable. It has been determined that direct harm to roosting bats during the proposed works would be highly unlikely.

Contractors should, however, be aware of **their own legal responsibility with respect to bats**:

Relevant Legislation regarding Bats

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation even if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

- (a) *To impair their ability -*
- *to survive, to breed or reproduce, or to rear or nurture their young; or*
 - *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*
- (b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

The following guidance outlines measures required to ensure that contractors are suitably informed of the potential for bats to be present, and undertake works in a manner which minimises the risk of impact to bats in the unlikely event of their presence.

Measures entailed by a Precautionary Method of Works

- Contractors undertaking the works should be informed of the potential for bats to be present in the features outlined in the PRA report – specifically gaps behind the fascias and potential roosting locations beneath the tiles. This could take the form of a Toolbox Talk or site induction when contractors commence works on the site;
- Contractors should be aware of their own legal obligations with regards to bats;
- The features identified in the PRA report should be visually inspected by contractors before works, after which they should be subject to a ‘soft strip’ approach whereby they are removed carefully and by hand such that in the highly unlikely event of bats being present, they are not crushed and can disperse freely;
- If there is any uncertainty around the ability to remove or expose these features safely in accordance with this guidance; or any ambiguity around the features which should be included within the PMW scope, the Licenced Bat Worker should be contacted for further advice in advance of works commencing.

Contractors should be aware of **the process to follow in the highly unlikely event of finding bats** or evidence indicating that bats are likely to be present:

If bats are identified, works should cease and the Licenced Bat Worker should be contacted immediately for advice.

If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.

Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm **and** if the ecologist cannot be contacted for advice.