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DEVELOPMENT PROPOSAL OVERVIEW
SIGNAL ROCK STABLES

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1. INTRODUCTION

This document outlines the concept of development for The Stables at Signal Rock, St Martin's that Anna and Robin Browne are proposing.

The location of The Stables is given with relationships to the adjoining properties and land illustrated. Photographs of views taken from positions around The Stables show the exterior of the building as it exists currently. CAD drawings show preliminary ideas regarding the interior layout and changes to exterior roof. The proposed pedestrian access is also modelled.

2. REQUIREMENT FOR DEVELOPMENT

St Martin's Watersports was started in 2018 with assistance from the Isles of Scilly Voucher Scheme, to hire out paddleboards and kayaks to visitors. The business was awarded Commended in 2020 in the Cornwall Tourism Awards, Best New Business. It operates from April to October, Sunday to Friday.

Anna works on the beach five days a week and also has a role of Quality Scientist with South West Water. This involves working one day a week in the summer rising to two days a week in the winter. Robin has a role with South West Water, operating the water treatment facilities on St Martin's. This role is part time, one week on one week off. Robin is able to cover the beach work on the day that Anna works on St Mary's. However, if there is a water emergency this would be his priority. As the business has grown so has the requirement for staff.

We have been extremely fortunate enough. In the past, to be able to provide work for those working at Adam's fish and chips, providing employment during the day to supplement their evening hours. Adam's fish and Chips provide accommodation for their staff.

In reality, St Martin's Watersports now requires a second person to work full time on the beach especially from May to September. Currently those working for Adam's and ourselves have to finish by 3.30 to allow them time off between roles. Watersports close at 5pm.

The reason we want to convert the Stable into staff accommodation is to ensure the continued success of St Martin's Watersports. This benefits the visitor experience for those not only staying on St Martin's but also visitors to the other islands.

3. SIGNAL ROCK

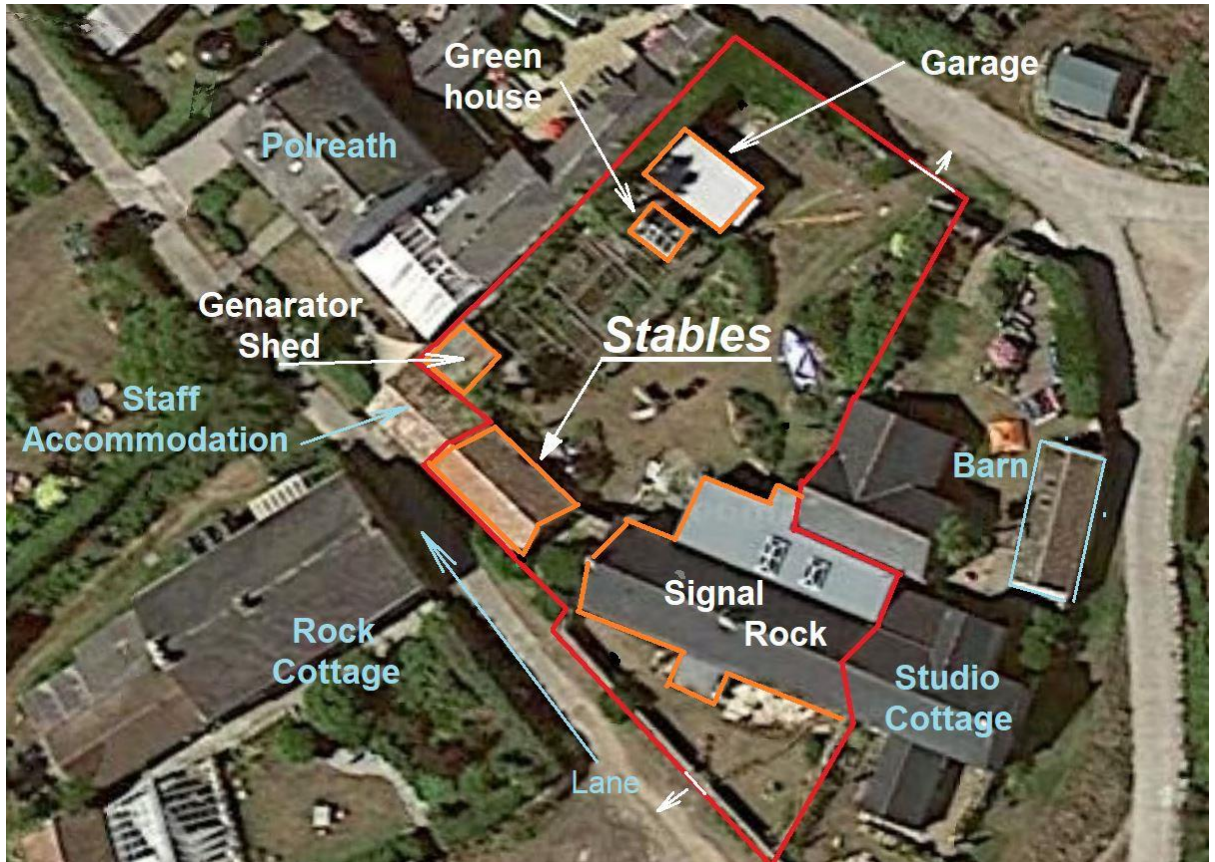
3.1 Signal Rock Location

Signal Rock is positioned at the top of the hill in Higher Town overlooking Par Beach and Higher Town Quay. St Martin's Watersports is positioned on Par Beach, opposite Higher Town Quay.

The sketch below gives a view of Signal Rock Plot, Higher Town, St Martin's.



The sketch below gives a view of Signal Rock plot, and adjacent land.



Signal Rock shares a boundary with Polreath to the west and Studio Cottage to the east. The property boundary to the south is a partially concrete paved lane that leads to St Martin's Post Office towards the northwest. The north boundary is the main road between Higher Town Quay and Lower Town Quay. The Stables share a party wall with Polreath's staff accommodation. The Barn outbuilding at Studio Cottage was recently converted by the Duchy of Cornwall

4. THE STABLES CURRENT SITUATION

The Stables have been used for storage since we purchased the property in 2014. We believe the building was used for the same purpose by the previous occupant for at least 20 years.

4.1 Views of The Stables

C

The aim of this section to show all sides of the building including views from public areas..

The sketch below shows position and direction of photos taken of following Stables views.



The views shown below and overleaf are as previously described





View C



View D



View E



View F



View G



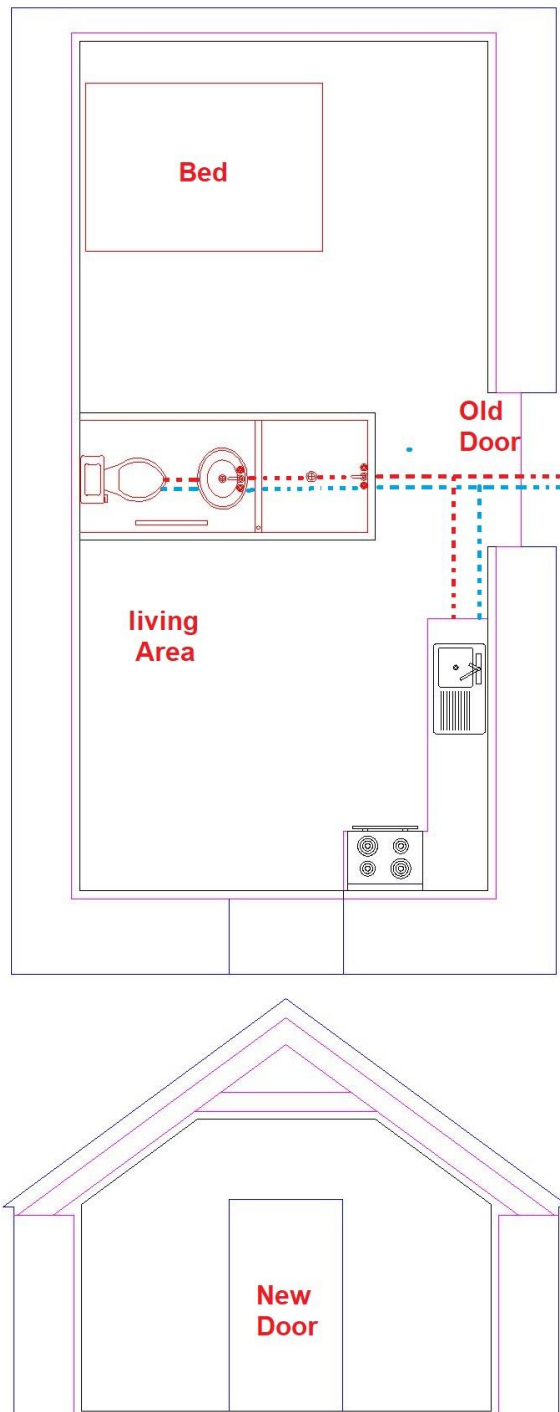
View H

5. PROPOSAL FOR STAFF ACCOMMODATION

Prior to Interior fitting out, the roof will require relining and the exterior wall will require pointing. The floor area is 21.5 m² prior to boarding out the floor, walls and ceiling. Services will be routed in under the current ground level.

A separate electrical supply will be supplied to The Stables, it is to be confirmed where this will be routed from.

The sketch below gives a plan view of Signal Rock proposed interior layout.



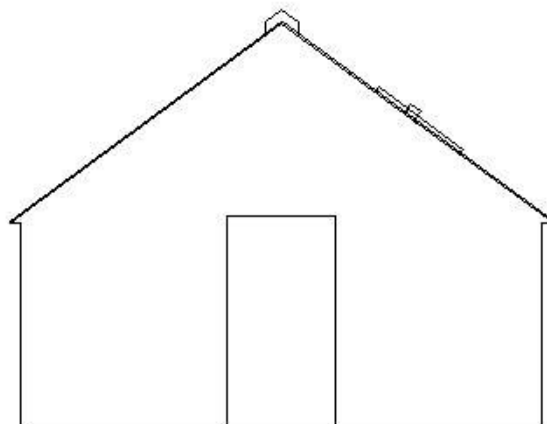
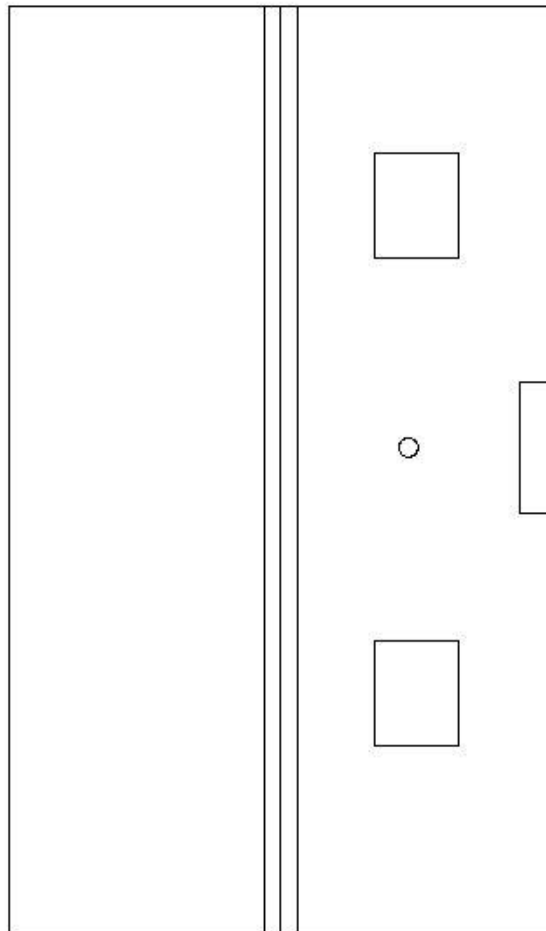
The roof tiles will be removed to renew waterproof layer and battens. During this process, roof lights to provide at least the minimum required level of interior natural light should be fitted. This also applies to external vents for fan extraction for the shower / toilet and the cooker.

The sketch below gives a plan view of Signal Rock proposed Roof changes.

TILE NUMBER
per side
8 x 27

TILE SIZE
0.4 x 0.32

TILE TYPE
Double Roman?



Approx Int floor level

The sketch below gives a view of proposed access gate..



6. SCOPE OF WORK FOR PROJECT

The generalised list below covers the envisaged milestones during the proposed project.

- Seek approval from Duchy Of Cornwall.
- Seek necessary planning permissions.
- Waterproof Roof and Walls.
- Fix roof lights and extraction.
- Dig in water and drainage to kitchen area and Toilet and Shower.
- Receive mains electrical supply to building.
- First fix plumbing.
- Fit Kitchen Appliances: Hob, Oven, hot water heater for kitchen sink, washing machine.
- Fit Bathroom appliances: Toilet, hot water heater for toilet sink, Shower.:
- First fix electrics. Sockets, lights, appliances and hot water.
- Board out floors, ceilings and walls with insulation.
- Second fixing.
- Decorate and Furnish.
- Install pedestrian access gate to lane.

END OF DOCUMENT