



COUNCIL OF THE ISLES OF SCILLY

Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2015

PERMISSION FOR DEVELOPMENT

Application No:	P/25/026/COU	Date Application Registered:	18 March 2025
Applicant:	Ms Nicola Stinson The Town Hall The Parade Hugh Town St Mary's Isles of Scilly TR21 0LP	Agent:	Mr Andrew Chaplin KTA Architects Winslade House, Manor Drive, Clyst St Mary, Devon, EX5 1FY
Site address:	Park House The Parade Hugh Town St Mary's Isles of Scilly		
Proposal:	Change of use from a residential care home to a mixed use of 4 self-contained units of accommodation for permanent local need and x1 '4-bed sharers apartment' for short term use		

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- Plan 1 Location Plan (AMENDED) PP-13815413v2
 - Plan 2 Site Location Plan 24129-KTA-XX-GF-D-A-001 REV E
 - Plan 3 Proposed Block Plan 24129-KTA-XX-GF-D-A-003 REV E
 - Plan 4 Demolition Plan Ground Floor 24129-KTA-XX-GF-D-A-020 REV C
 - Plan 5 Demolition Plan First Floor 24129-KTA-XX-GF-D-A-021 REV C
 - Plan 6 Demolition Plan North & East Elevation 24129-KTA-XX-GF-D-A-025 REV C
 - Plan 7 Demolition Plan South & West Elevation 24129-KTA-XX-GF-D-A-027 REV C
 - Plan 8 Demolition Plan Roof 24129-KTA-XX-GF-D-A-022 REV C
 - Plan 9 Proposed Ground Floor Plan 24129-KTA-XX-GF-D-A-0030 REV C
 - Plan 10 Proposed First Floor Plan 24129-KTA-XX-GF-D-A-0031 REV C
 - Plan 11 Proposed North and East Elevation 24129-KTA-XX-GF-D-A-0035 REV E
 - Plan 12 Proposed South and West Elevation 24129-KTA-XX-GF-D-A-0036 REV C
 - Plan 13 Proposed Roof Plan 24129-KTA-XX-GF-D-A-0032 REV C
 - Flood Risk Assessment, Campbell Reith, Dated February 2025
 - Heritage Impact Assessment, KTA, REF: 24129_HIA_02 January 2025
 - Design and Access Statement, KTA, Issue 4 February 2025

- **Preliminary Roost Assessment, IOS Ecology, Ref: 25-1-1 9 February 2025**

These are stamped as APPROVED

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policies OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030.)

- C3 The residential accommodation identified as Flats 1, 2, 3 and 4 on drawings 24129-KTA-XX-GF-D-A-0030 REV C and 24129-KTA-XX-GF-D-A-0031 REV C shall not be occupied otherwise than as affordable rental units by persons on the Council's Social Housing Register as their only or principal homes. The occupants shall supply to the Local Planning Authority (within 14 days of the Local Planning Authority's request to do so) such information as the Local Planning Authority may reasonably require in order to determine compliance with this condition. For the avoidance of doubt the dwelling(s) shall not be occupied as second homes or as units of holiday letting accommodation.**

Reason: To ensure that the housing stock is retained as affordable housing and prevented from being used as a second home or holiday let accommodation to help maintain the social wellbeing of communities in accordance with Policy LC2 of the Isles of Scilly Local Plan (2015-2030.)

- C4 The short-term accommodation identified as Flat 5 on drawing 24129-KTA-XX-GF-D-A-0031 REV C shall not be occupied otherwise than by key worker staff employed on the Island. For the avoidance of doubt the dwelling(s) shall not be occupied as second homes or as units of holiday letting accommodation.**

Reason: To ensure that new housing stock is prevented from being used as a second home or holiday let accommodation to help maintain the social wellbeing of communities in accordance with Policy LC2 of the Isles of Scilly Local Plan (2015-2030.)

PRE-COMMENCEMENT CONDITION: Submission of Construction Site Waste Management Plan

- C5 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all waste arising from building works, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.**

Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application but are required to fully understand the impact upon landscape and management of waste, to be submitted to and agreed in writing by the Local Planning Authority. This is to ensure adequate consideration is given to the minimisation of unnecessary waste generation, and adherence to the waste hierarchy, in accordance with the requirements of Policy SS2 (2) and Policy OE5 of the Isles of Scilly Local Plan (2015-2030.)

PRE-COMMENCEMENT CONDITION: Submission of Schedule of Materials

- C6 Prior to the commencement of the development, hereby approved, a schedule of materials shall be submitted to and agreed in writing with the Planning Authority. The schedule shall include details of the Automatic Opening Vent (AOV) new flues, vents and other external pipework, and details of obscure glazing to the lower (main) panel of windows on the southern elevation where required. The development shall thereafter proceed in strict accordance with the approved details.**

Reason: In the interests of conserving landscape character and preserving the character of the conservation area and heritage coast, in accordance with Policy OE1 of the Isles of Scilly Local Plan (2015-2030) and the Isles of Scilly Design Guide SPD (2007.) This is required to be a pre-commencement condition because there are no works below slab level.

PRE-FIRST OCCUPATION: Submission of Water Saving Measures

- C7 Prior to first occupation, a scheme of water saving measures shall be submitted to and agreed in writing by the local Planning Authority. The scheme shall include details of how water usage of no more than 110 litres per person per day will be achieved. Thereafter the development shall be carried out and operated in full accordance with the approved details.**

Reason: To ensure the development demonstrates a high level of sustainable performance to address mitigation of and adaptation to predicted climate change, in accordance with Policy SS2 of the Isles of Scilly Local Plan (2015-2030.)

PRE-FIRST OCCUPATION: Submission of Operational Waste Management Plan

- C8** Prior to first occupation, a scheme for operational waste management shall be submitted to and agreed in writing by the local Planning Authority. The scheme shall include details of inside and outside storage for recycling waste. Thereafter the development shall be carried out and operated in full accordance with the approved details.
Reason: To ensure the development demonstrates a high level of sustainable performance to address mitigation of and adaptation to predicted climate change, in accordance with Policy SS2 of the Isles of Scilly Local Plan (2015-2030.)
- C9** The development hereby permitted shall be carried out in compliance with the Precautionary Method Statement, as set out at Appendix 1 of the Preliminary Roost Assessment (PRA), Ref: 25-1-1 and dated 09 February 2025 by IOS Ecology.
Reason: To ensure any bats or bat roosts uncovered during the course of development are protected from damage or disturbance bearing in mind bats and bat roosts are protected by law.
- C10** No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.
Reason: In the interests of protecting the residential amenities of the islands.

Further Information

- STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and creative way, in accordance with paragraph 39 of the National Planning Policy Framework 2024.
- DISCHARGING CONDITIONS:** In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied:
https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
- POST-DECISION AMENDMENTS:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
- FIRE SAFETY:** The Regulatory Reform (Fire Safety) Order 2005 applies, and the responsible person will be required to carry out a fire risk assessment to identify the risks and take reasonable measures to ensure people are safe from fire. The works may be considered 'controlled work' and therefore building control approval may also be required.
- BATS:** The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.
- BIODIVERSITY NET GAIN:** Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements are considered to apply. These can be found in the legislation. The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that, unless an exception or a transitional arrangement applies, the planning permission granted for the development of land in England is deemed to have been granted subject to the condition ("the biodiversity gain condition") that development may not begin unless:
(a) a Biodiversity Gain Plan² has been submitted to the planning authority, and
(b) the planning authority has approved the plan.
The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan in respect of this permission would be the Planning Department at the Council of the Isles of Scilly.
- COMMENCEMENT NOTICE:** Under Section 93G of the Town and Country Planning Act 1990 (as amended), this decision notice informs you that a 'commencement notice' must be served on the Local Planning Authority

- subsections (2) and (3) are set out below:

(2) Before the development is begun, the person proposing to carry it out must give a notice (a "commencement notice") to the local planning authority specifying the date on which the person expects the development to be begun.

(3) Once a person has given a commencement notice, the person:

- may give a further commencement notice substituting a new date for the date previously given, and
- must do so if the development is not commenced on the date previously given

The notice should be provided to the Local Planning Authority a minimum of seven (7) days before the development commences.

Failure to provide the commencement notice could lead to the Local Planning Authority serving notice on them to require information to be provided, and if that is not provided within 21 days, they will be guilty of an offence, as below:

(5) Where it appears to the local planning authority that a person has failed to comply with the requirements of subsection (2) or (3)(b), they may serve a notice on any relevant person requiring the relevant person to give the authority such of the information prescribed under subsection (4)(a) as the notice may specify.

(7) A person on whom a notice under subsection (5) is served is guilty of an offence if they fail to give the information required by the notice within the period of 21 days beginning with the day on which it was served.

(9) A person guilty of an offence under subsection (7) is liable on summary conviction to a fine not exceeding level 3 on the standard scale.

PLEASE NOTE: The requirement under Section 93G of the Town and Country Planning Act 1990 (as amended) is separate from any requirements under the Community Infrastructure Levy Regulations 2010 (as amended) or any requirements for serving notices secured through the signed Section 106 Legal Agreement.

8. **BUILDING CONTROL:** This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.

Signed:



Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 30 May 2025



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Ms Nicola Stinson

IMPORTANT: Please sign and complete this **Commencement Certificate**.

Anyone intending to begin development under a granted planning permission (including permissions varied under Section 73) is required to notify the local authority of the Commencement Date.

What if plans change?

If development does not start on the stated date, a new notice must be submitted with the revised date.

What happens if you don't comply?

The local planning authority (LPA) can serve a notice requiring the information. Failure to respond within 21 days is an offence, punishable by a fine of up to £1,000, unless the person has a reasonable excuse.

Why is this important?

It gives LPAs better oversight of when development begins, helping with enforcement, monitoring, and infrastructure planning.

Relation to other notices:

This is separate from Building Control commencement notices, though similar in purpose.

This is to certify that decision notice: P/25/026/COU and the accompanying conditions have been read and understood by the applicant: Ms Nicola Stinson.

1. **I/we intend to commence the development as approved:** Change of use from a residential care home to a mixed use of 4 self-contained units of accommodation for permanent local need and x1 '4-bed sharers apartment' for short term use at: Park House The Parade Hugh Town St Mary's Isles of Scilly **on:** '85
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name:

Contact Telephone Number:

And/Or Email:

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) as part of the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

PRE-COMMENCEMENT CONDITION(S)

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COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan, Garrison Lane, St Mary's, Isles of Scilly, TR21 0JD

☎01720 424455

✉planning@scilly.gov.uk

THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £86 per application
- Other permissions - £298 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £44 for householder type applications and £298 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

If the scale of change is not considered to be 'non-material' you may be able to make a 'minor material amendment' which would require to you apply to vary the conditions (providing the change is not contrary to a specific condition). The fee for a householder variation of condition application would be £86, for other non-major (other than householder) development applications the fee would be £586 and for major development the fee would be £2,000.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall
Council Pydar
House Pydar
Street Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online:
<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department by email: planning@scilly.gov.uk who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 0800 0831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

Location Plan

Site Address: Park House, The Parade, Hugh Town, St Mary's, TR21 0LP

Date Produced: 17-Mar-2025

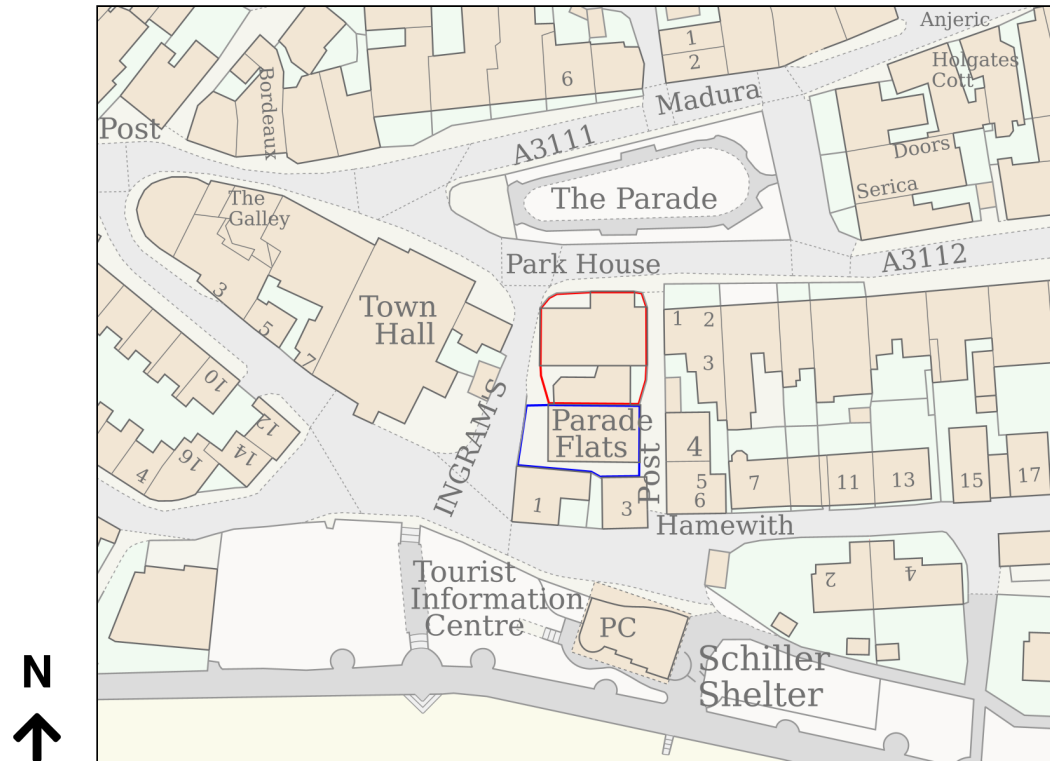
RECEIVED

By Liv Rickman at 4:51 pm, Mar 20, 2025

Scale: 1:1250 @A4

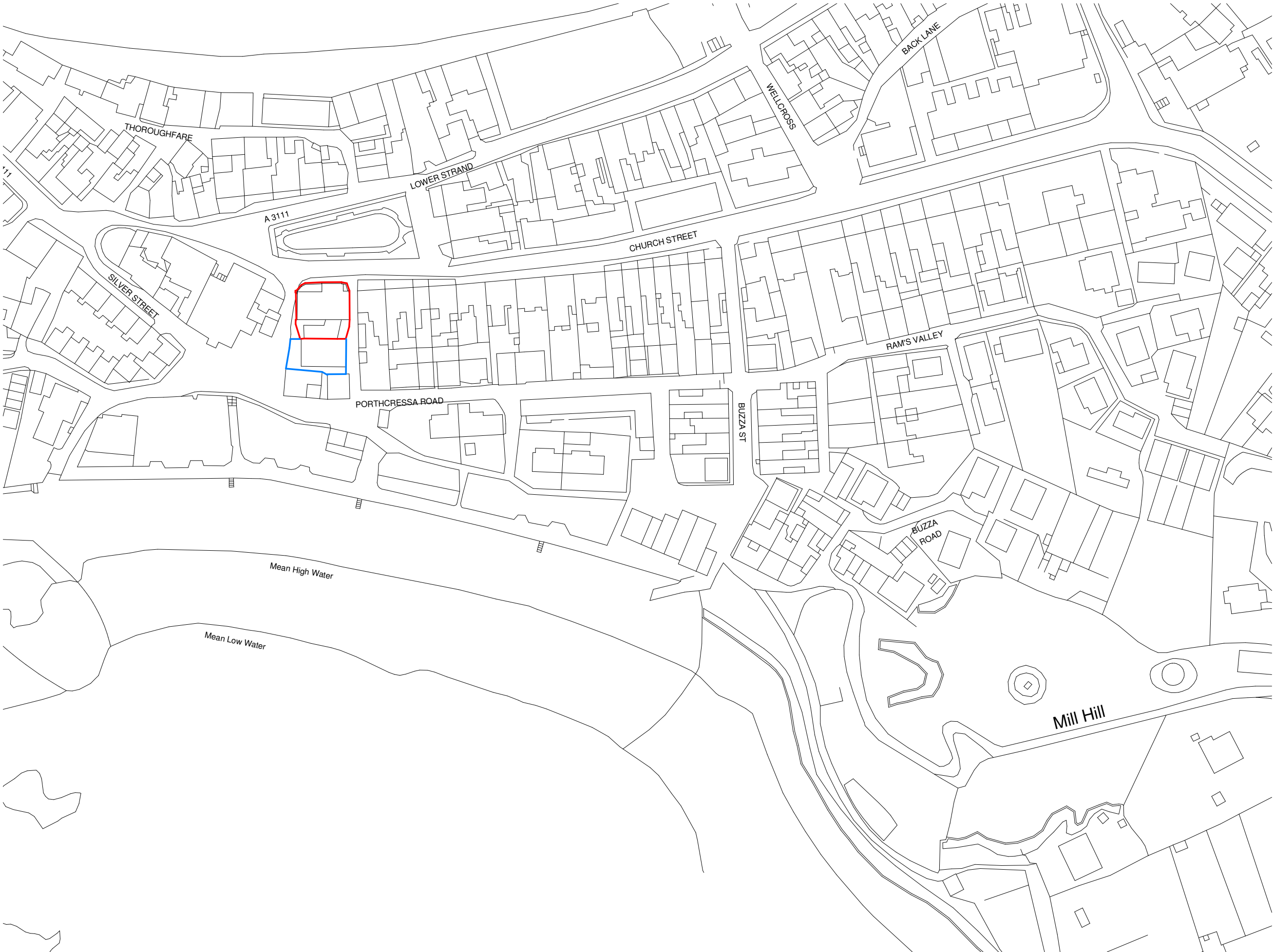
APPROVED

By Lisa Walton at 9:14 am, May 30, 2025



Planning Portal Reference: PP-13815413v2

0 50
Metres



APPROVED
By Lisa Walton at 9:15 am, May 30, 2025

Contractors to check all dimensions on drawings.
Any discrepancies must be reported to KTA Architects Ltd or the contract administrator before proceeding.
Do not scale except for planning purposes, work to figured dimensions.
A Fire Consultant must be appointed for this project. KTA drawings & schedules to be read in conjunction with the Fire Consultant Fire Strategy Report.
The Fire Strategy Report takes precedence over any KTA drawing or schedule & any discrepancy should be brought to KTA's attention
This drawing must be read in conjunction with all relevant consultants drawings.

This drawing is © KTA Architects Ltd.

Revision Schedule			
Rev	Date	Description	Drw/ Chck
E	17.03.2025	Blue line added	JC/AC
D	06.03.2025	Drawing Re-issued	JC/AC
C	05.02.2025	Drawing Updated	JC/AC
B	24.01.2025	Drawing Reissued	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

RECEIVED
By Liv Rickman at 4:51 pm, Mar 20, 2025

- Red line Boundary
- Blue line Boundary adjacent land in same ownership



Architects | Urban Designers

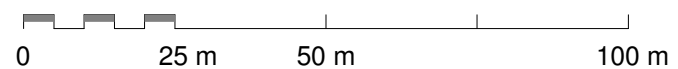
Winslade House, Winslade Park Ave, Manor Drive, Clyst St Mary, Exeter EX5 1FY

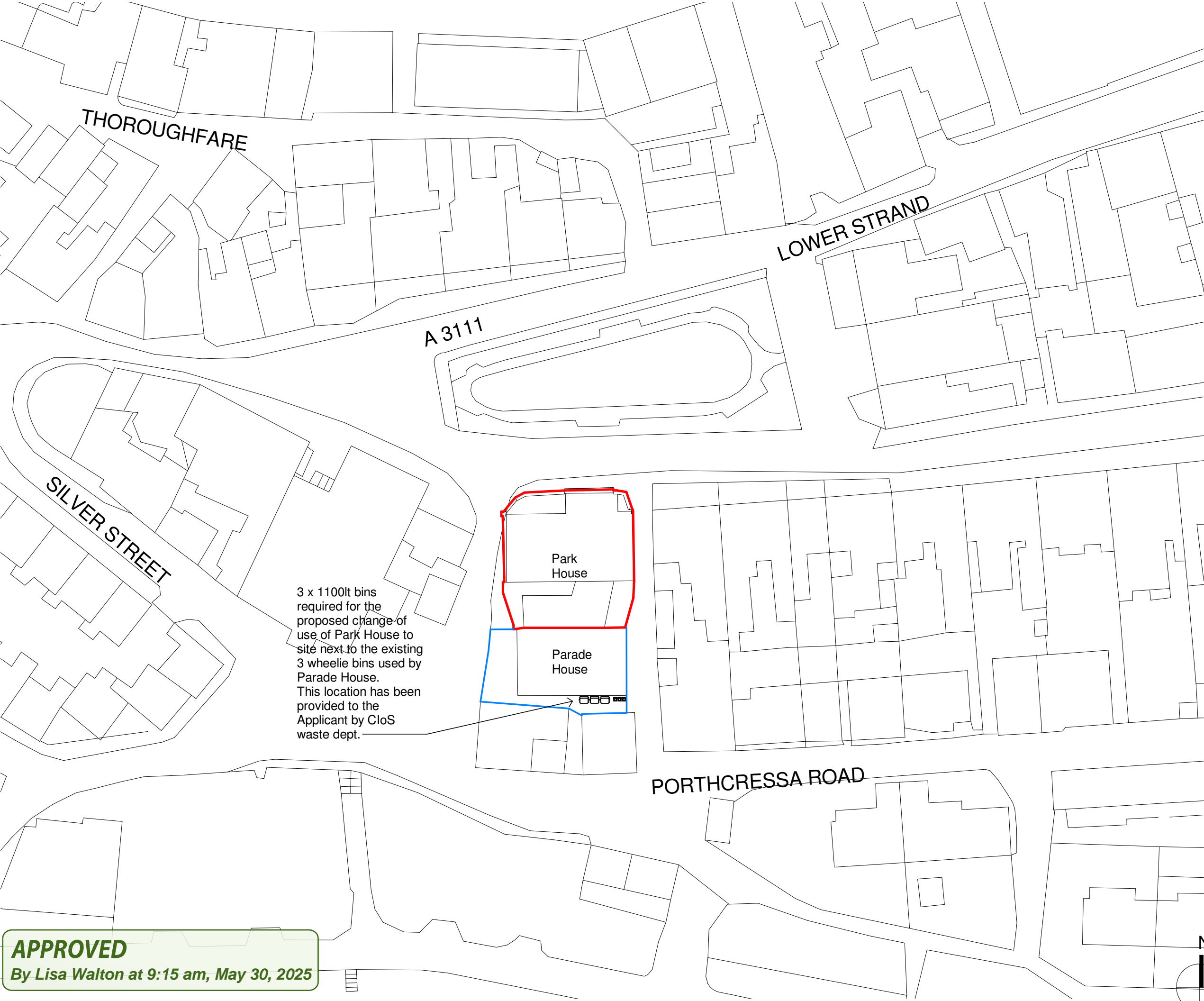
Tel: 01392 360338
Email: kt@kta.uk.com
Web: www.kta.uk.com

Project
Park House Isles of Scilly

Title
Site Location Plan

Athr JC	Chk by AC	Scale 1 : 1250 @ A3
Project 24129	Status Planning	
Drawing number 24129-KTA-XX-GF-D-A-0001		E





APPROVED
By Lisa Walton at 9:15 am, May 30, 2025

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A	16.12.2024	Preliminary for Discussion	JC/AC

RECEIVED
By Liv Rickman at 4:51 pm, Mar 20, 2025

- Red line Boundary
- Blue line Boundary adjacent land in same ownership

KTA
Architects | Urban Designers
Winslade House, Winslade Park Ave, Manor Drive, Clyst St Mary, Exeter EX5 1FY
Tel: 01392 360338
Email: kt@kta.uk.com
Web: www.kta.uk.com

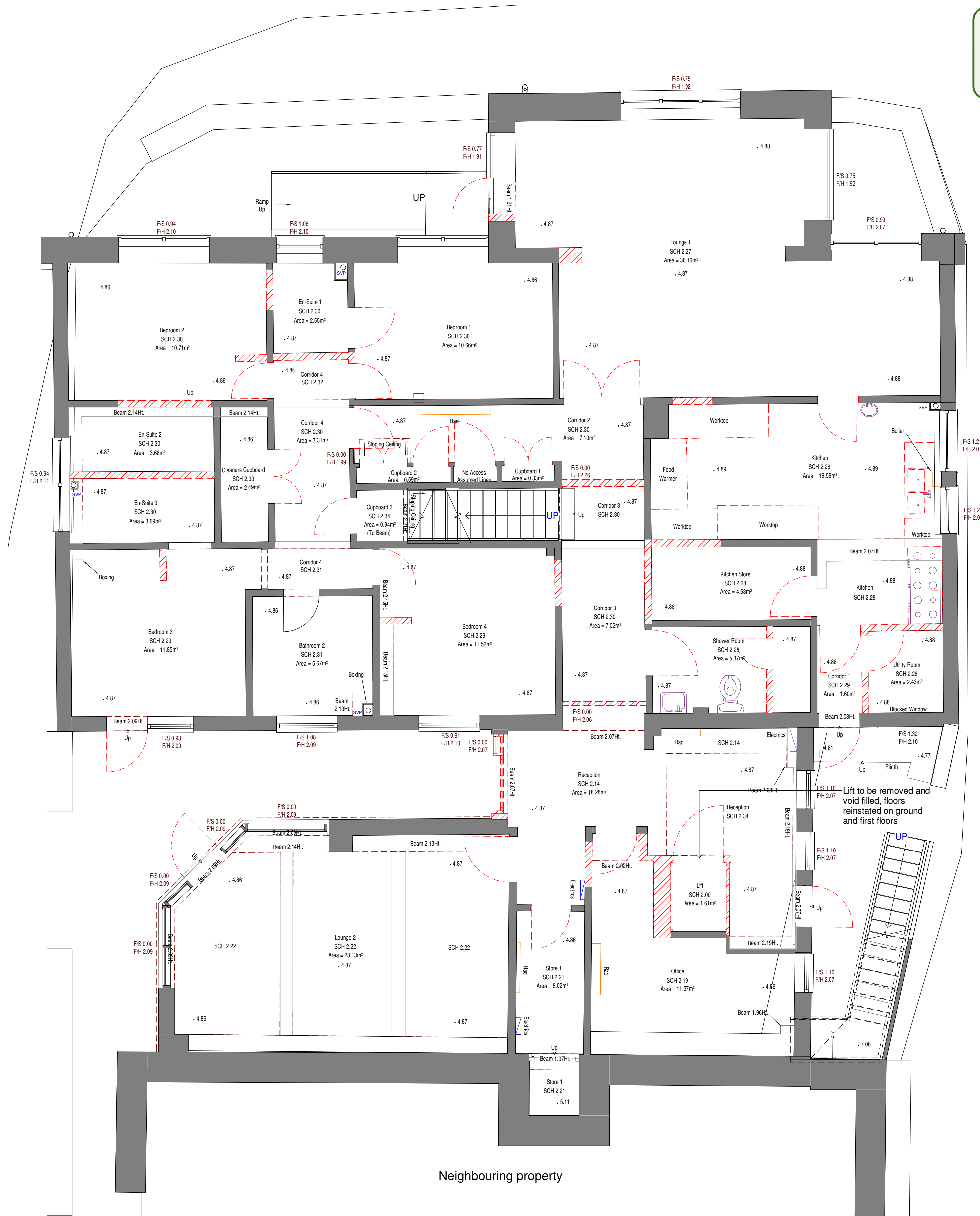
Project
Park House Isles of Scilly

Title
Proposed Block Plan

Athr JC	Chk by AC	Scale 1 : 500	@ A3
Project 24129	Status Planning		
Drawing number 24129-KTA-XX-GF-D-A-0003			E

RECEIVED
By Liv Rickman at 5:36 pm, Mar 11, 2025

APPROVED
By Lisa Walton at 9:16 am, May 30, 2025



Contractors to check all dimensions on drawings.
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Revision Schedule			
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C	05.02.2025	Drawing Updated	JC/AC
B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

Existing Drawings produced based on SUMO Plan Survey and Currie Brown PDF refurbishment drawings

Key

- Existing
- Demolished
- Proposed

Fire Strategy to be reviewed by Fire Consultant

KTA
Architects | Urban Designers

Winslade House, Winslade Park, Manor Drive,
Clyst St. Mary, Exeter, EX5 1FY

Tel: 01392 360338
Email: kt@kta.uk.com
Web: www.kta.uk.com

Project
Park House Isles of Scilly

Title
Demolition Ground Floor Plan

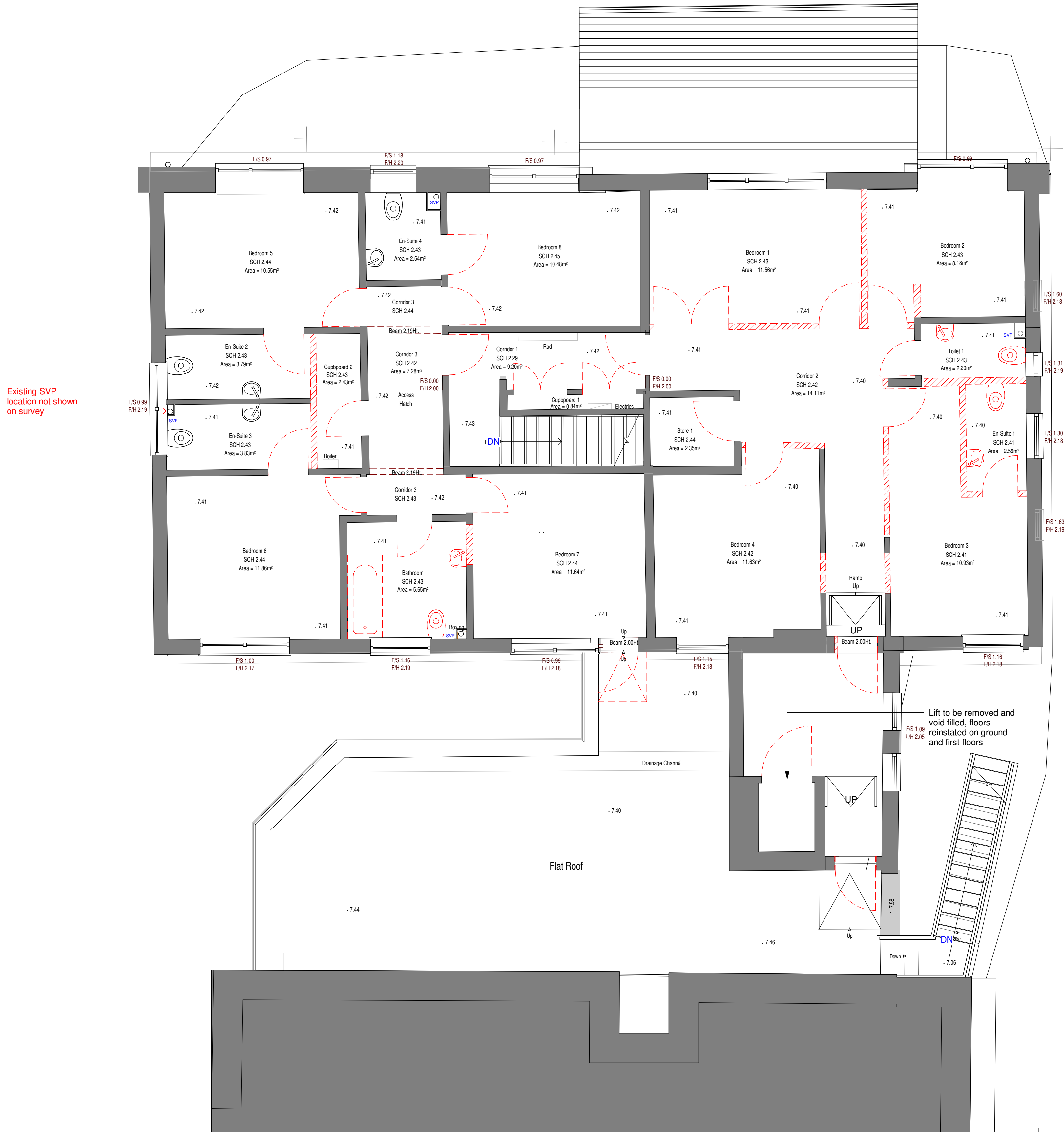
Author JC	Chkd by AC	Scale 1 : 50 @ A1
Project 24129	Status Planning	
Drawing number 24129-KTA-XX-GF-D-A-0020		C

APPROVED

By Lisa Walton at 9:17 am, May 30, 2025

RECEIVED

By Liv Rickman at 5:36 pm, Mar 11, 2025



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Any discrepancies must be reported to KTA Architects Ltd or the contract administrator before proceeding.

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B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

Existing Drawings produced based on SUMO Plan Survey and Currie Brown PDF refurbishment drawings

Key

- Existing
- Demolished
- Proposed

Fire Strategy to be reviewed by Fire Consultant

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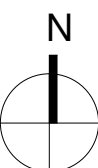
Winslade House, Winslade Park, Manor Drive,
Clyst St. Mary, Exeter, EX5 1FY

Tel: 01392 360338
Email: kt@kta.uk.com
Web: www.kta.uk.com

Project
Park House Isles of Scilly

Title
Demolition First Floor Plan

Author JC	Chkd by AC	Scale 1 : 50 @ A1
Project 24129	Status Planning	
Drawing number 24129-KTA-XX-GF-D-A-0021		C

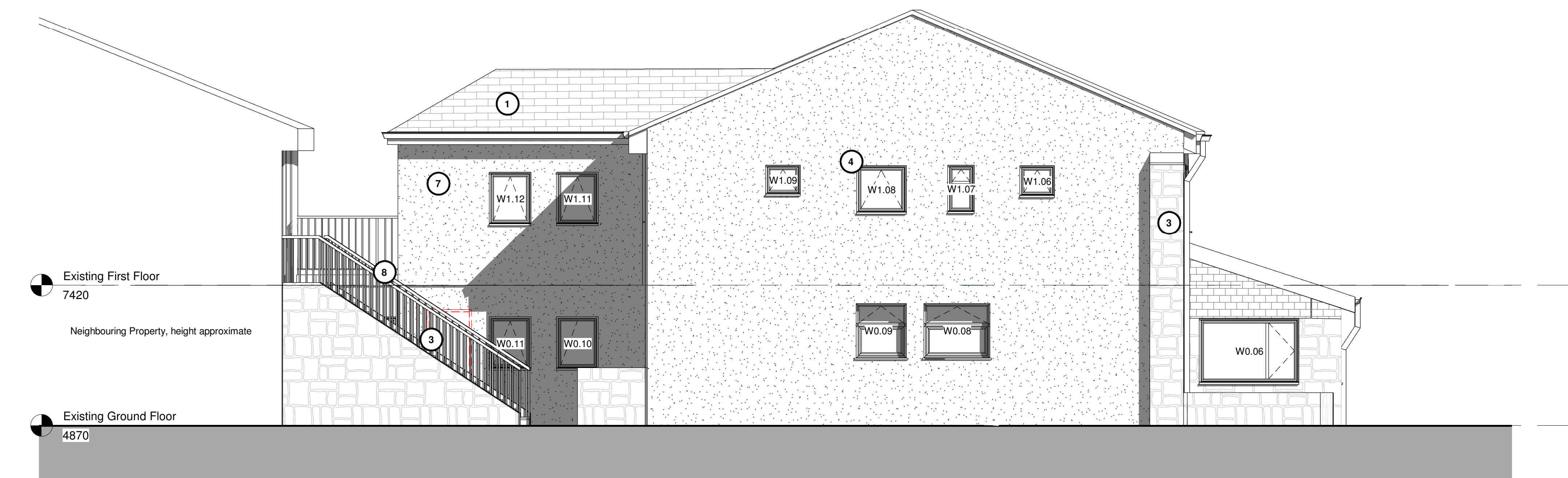


RECEIVED
By Liv Rickman at 5:36 pm, Mar 11, 2025

APPROVED
By Lisa Walton at 9:18 am, May 30, 2025



North Elevation - No



East Elevation



Contractors to check all dimensions on drawings.

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
C	05.02.2025	Drawing Updated	JC/AC
B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

KEY

1. Existing Roof Material - Concrete Tiles
2. Tile covering to walls
3. Existing Stone
4. Existing white UPVC Windows
5. Existing white UPVC Door
6. Existing Felt Roof
7. Existing Render
8. Existing Guardrail

Key

- Existing
- Demolished
- Proposed

Fire Strategy to be reviewed by Fire Consultant

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Project
Park House Isles of Scilly

Title
Demolition North and East Elevation

Author JC	Chkd by AC	Scale 1 : 50 @ A1
Project 24129	Status Planning	
Drawing number 24129-KTA-XX-GF-D-A-0025		C

By Liv Rickman at 5:36 pm, Mar 11, 2025

By Lisa Walton at 9:21 am, May 30, 2025






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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
05.02.2025		Drawing Updated	JC/AC
23.01.2025		Drawings Updated Following Site Visit	JC/AC
16.12.2024		Preliminary for Discussion	JC/AC

EY

1. Existing Roof Material - Concrete Tiles
2. Tile covering to walls
3. Existing Stone
4. Existing white UPVC Windows
5. Existing white UPVC Door
6. Existing Felt Roof
7. Existing Render
8. Existing Guardrail

ey

-  = Existing
 = Demolished
 = Proposed

Fire Strategy to be reviewed by Fire Consultant

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Project

Park House Isles of Scilly

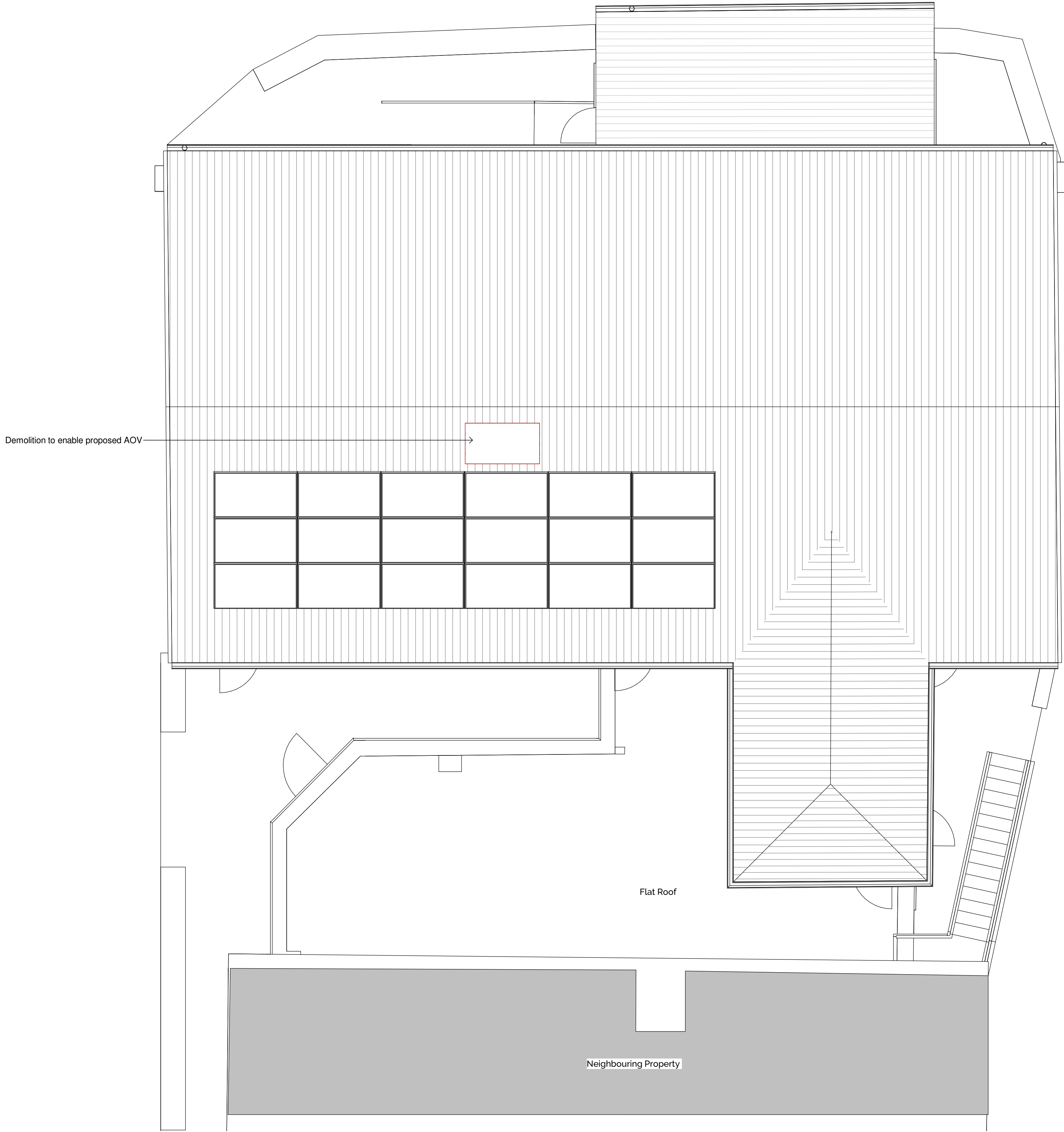
Title
Demolition South and West
Elevation

Author JC Chkd by AC Scale 1 : 50 @ A1

Project	Status
24129	Planning

Drawing number	
24129-KTA-XX-XX-D-A-0027	C

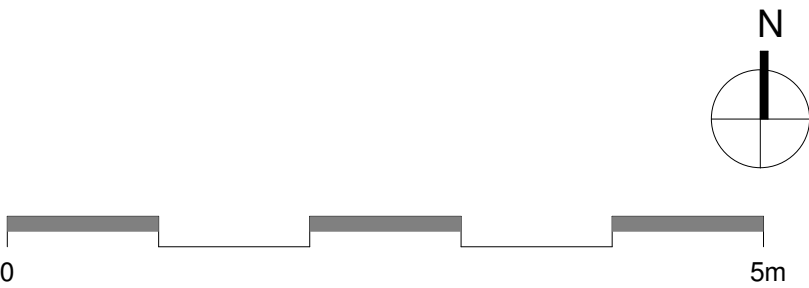
128-V1.0 - 24/11/2022



Demolition Roof Plan
1 : 50

RECEIVED
By Liv Rickman at 5:36 pm, Mar 11, 2025

APPROVED
By Lisa Walton at 9:22 am, May 30, 2025



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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
C	05.02.2025	Drawing Updated	JC/AC
B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

Existing Drawings produced based on SUMO Plan Survey and Currie Brown PDF refurbishment drawings

Key

Existing

Demolished

Proposed

Fire Strategy to be reviewed by Fire Consultant

KTA

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Project

Park House Isles of Scilly

Title

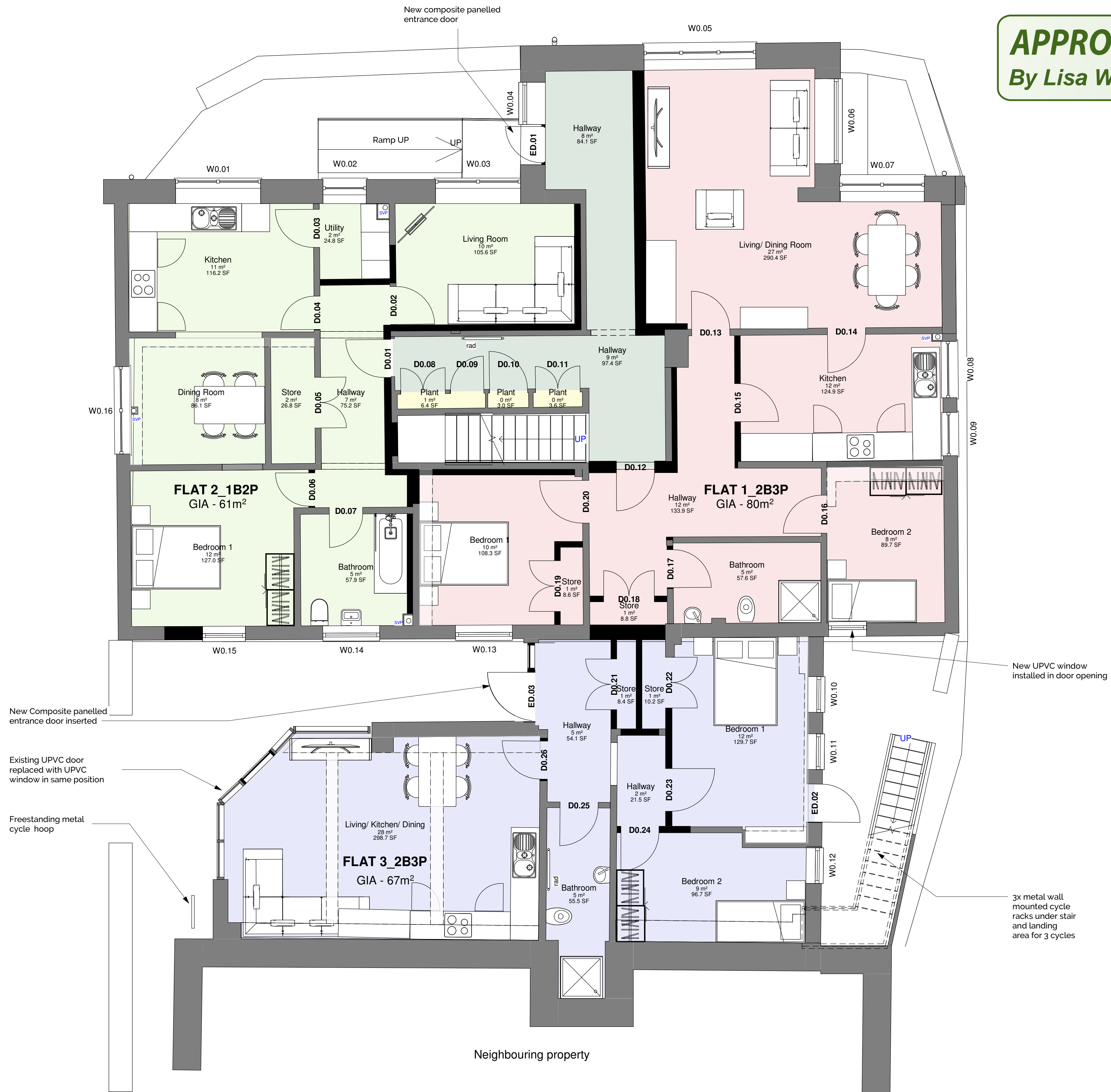
Demolition Roof Plan

Author	Checkd by	Scale	@ A1
JC	AC	1 : 50	
Project	Status	Planning	
24129			
Drawing number			
24129-KTA-XX-GF-D-A-0022	C		

OMP 128 V12.0 14/11/2022

RECEIVED
By Liv Rickman at 5:36 pm, Mar 11, 2025

APPROVED
By Lisa Walton at 9:23 am, May 30, 2025



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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
C	05.02.2025	Drawing Updated	JC/AC
B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

By Department Legend

- communal
- Flat 1
- Flat 2
- Flat 3
- Plant

Key

- Existing
- Demolished
- Proposed

Fire Strategy to be reviewed by Fire Consultant

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Project
Park House Isles of Scilly

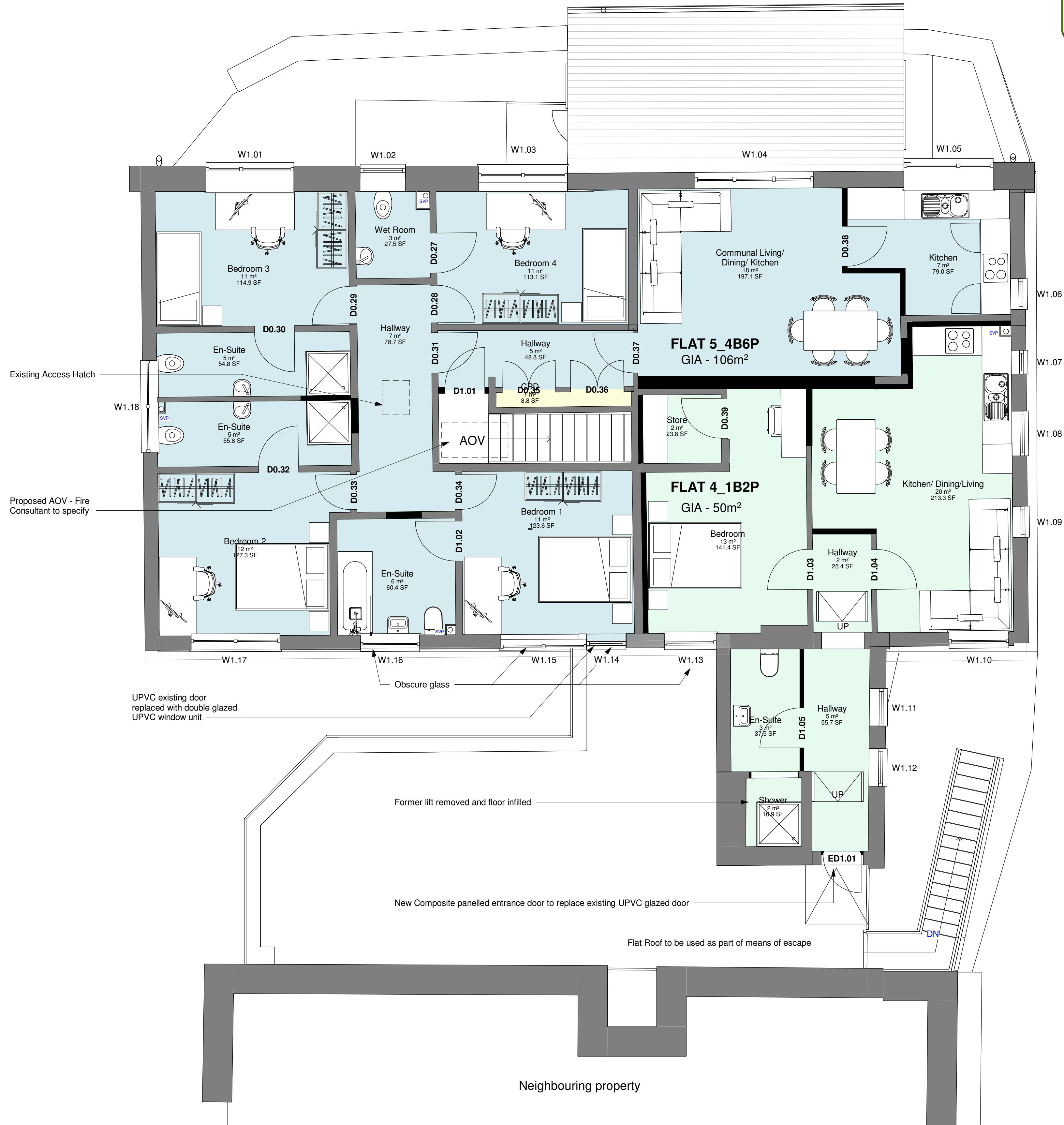
Title
Proposed Ground Floor Plan

Author JC	Chkd by AC	Scale 1 : 50 @ A1
Project 24129	Status Planning	
Drawing number 24129-KTA-XX-GF-D-A-0030		C

OMP 128 V12 14/11/2022

RECEIVED
By Liv Rickman at 5:36 pm, Mar 11, 2025

APPROVED
By Lisa Walton at 9:24 am, May 30, 2025



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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
C	05.02.2025	Drawing Updated	JC/AC
B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

By Department Legend

- Flat 4
- Flat 5
- Plant

Key

- Existing
- Demolished
- Proposed

Fire Strategy to be reviewed by Fire Consultant

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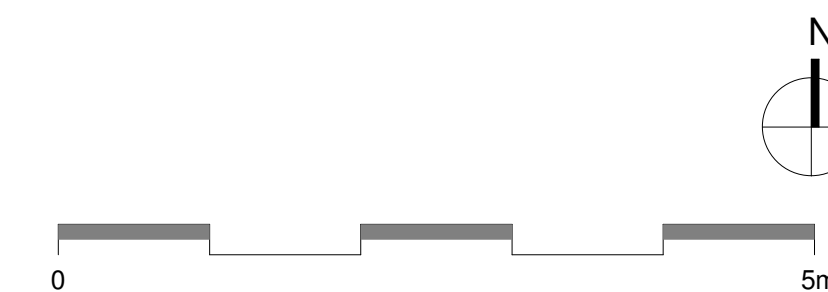
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Clyst St. Mary, Exeter, EX5 1FY

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Project
Park House Isles of Scilly

Title
Proposed First Floor Plan

Author JC	Chkd by AC	Scale 1 : 50 @ A1
Project 24129	Status Planning	
Drawing number 24129-KTA-XX-GF-D-A-0031		C





North Elevation - No Changes



East Elevation - No Change

APPROVED
By Lisa Walton at 9:25 am, May 30, 2025

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
E	08.05.2025	Bird boxes added	JC/AC
D	06.03.2025	Drawing Re-issued	JC/AC
C	05.02.2025	Drawing Updated	JC/AC
B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

RECEIVED
By Tom.Anderton at 1:36 pm, May 12, 2025

- KEY
- Existing roof material - Concrete tiles
 - Tile covering to walls
 - Existing stone
 - Existing white UPVC windows
 - Existing white UPVC door
 - Existing felt roof
 - Existing render
 - Existing guardrail
 - Proposed handrail
 - Proposed white UPVC window
 - Proposed white UPVC window
 - Proposed composite panel door
 - Proposed bird (starling/sparrow) box locations x 2

- Key
- Existing
 - Demolished
 - Proposed
- Fire Strategy to be reviewed by Fire Consultant

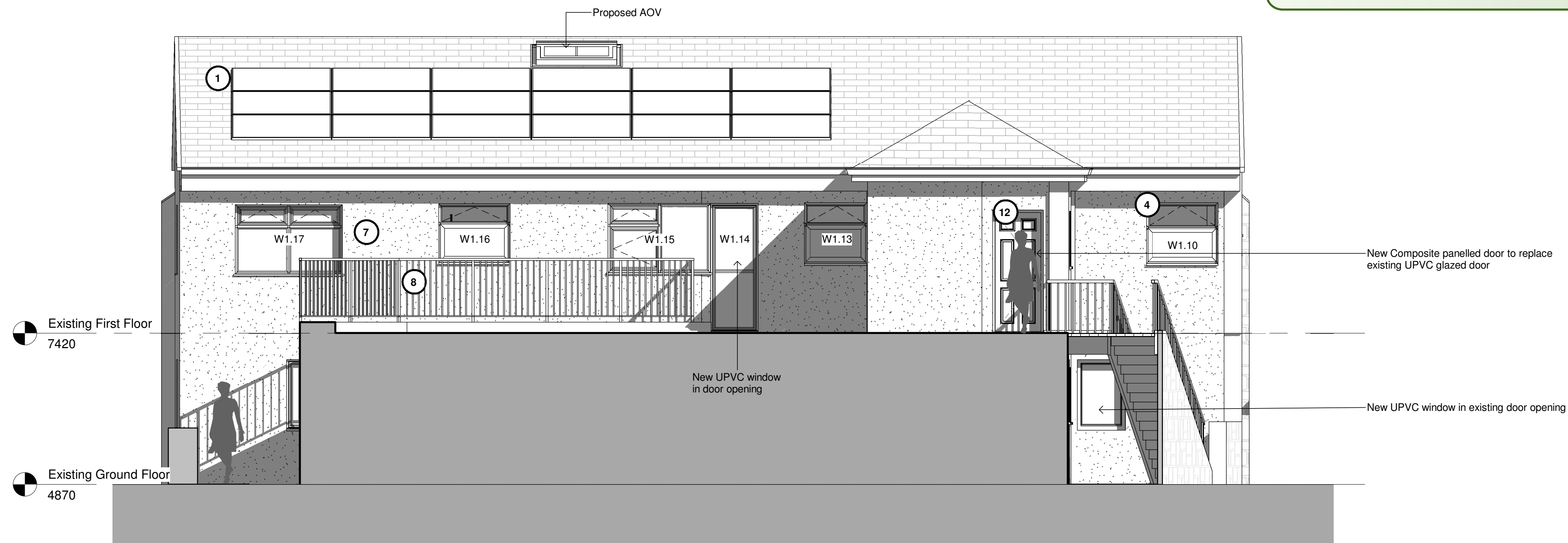
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Email: kt@kta.uk.com
Web: www.kta.uk.com

Project Park House Isles of Scilly			
Title Proposed North and East Elevation			
Author JC	Chkd by AC	Scale 1 : 50	@ A1
Project 24129	Status Planning		
Drawing number 24129-KTA-XX-GF-D-A-0035			E

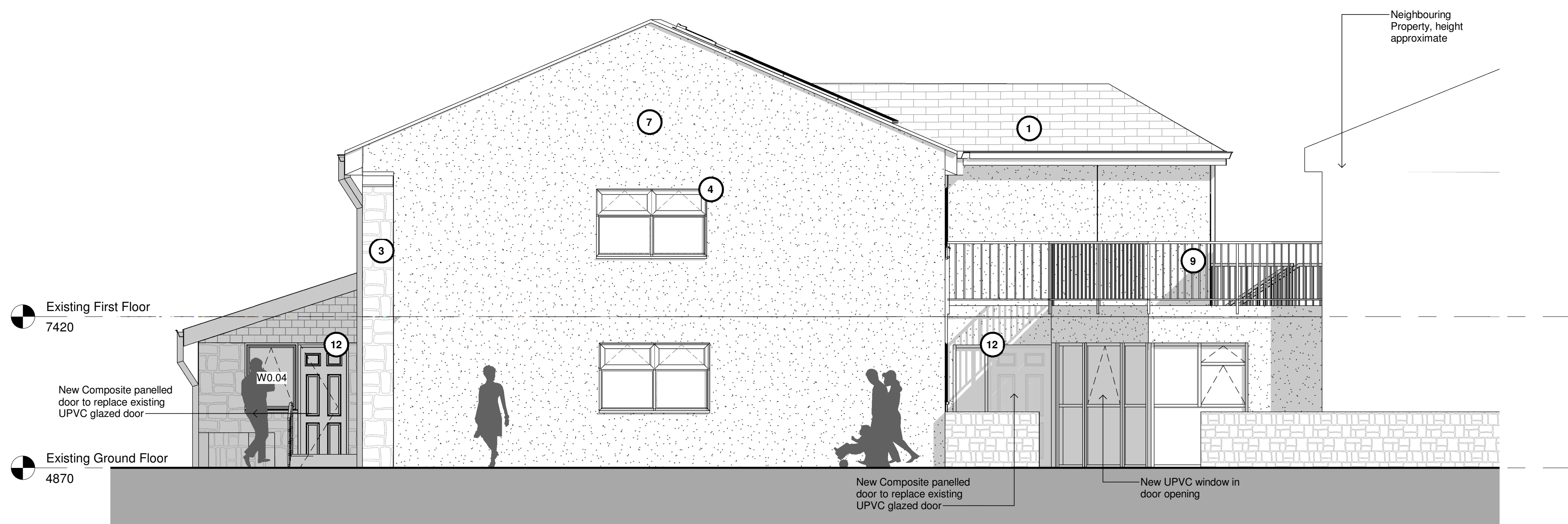


RECEIVED
By Liv Rickman at 5:36 pm, Mar 11, 2025

APPROVED
By Lisa Walton at 9:27 am, May 30, 2025



Proposed South Elevation
1 : 50



Proposed West Elevation
1 : 50



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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
C	05.02.2025	Drawing Updated	JC/AC
B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

KEY

- Existing Roof Material - Concrete Tiles
- Tile covering to walls
- Existing Stone
- Existing white UPVC Windows
- Existing white UPVC Door
- Existing Felt Roof
- Existing Render
- Existing Gaurdrail
- Proposed Handrail
- Proposed White UPVC Window
- Proposed White UPVC Window
- Proposed Composite Panel Door

Key

- Existing
- Demolished
- Proposed

Fire Strategy to be reviewed by Fire Consultant

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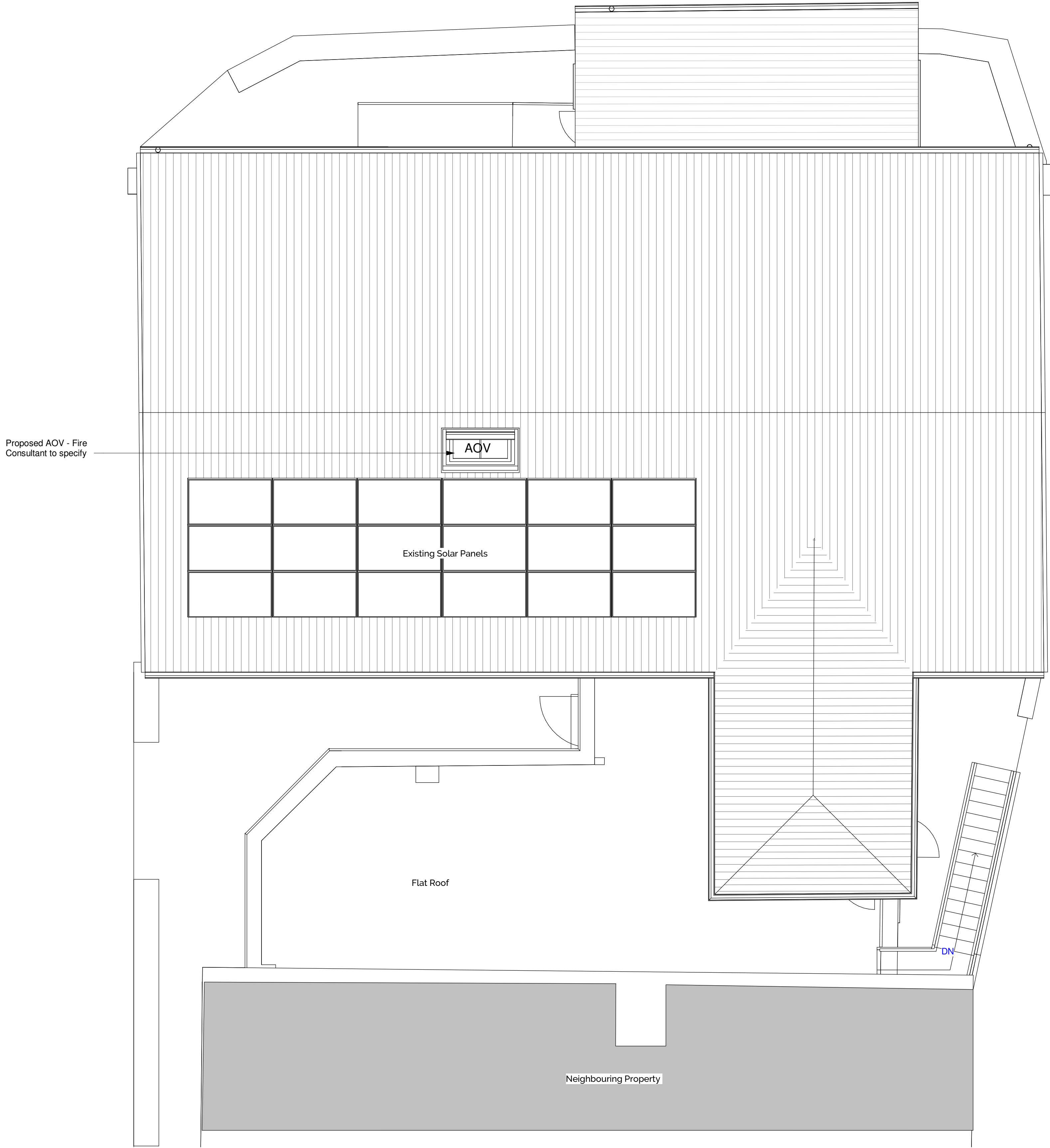
Tel: 01392 360338
Email: kt@kta.uk.com
Web: www.kta.uk.com

Project
Park House Isles of Scilly

Title
Proposed South and West Elevation

Author JC	Chkd by AC	Scale 1 : 50 @ A1
Project 24129	Status Planning	
Drawing number 24129-KTA-XX-XX-D-A-0036	C	

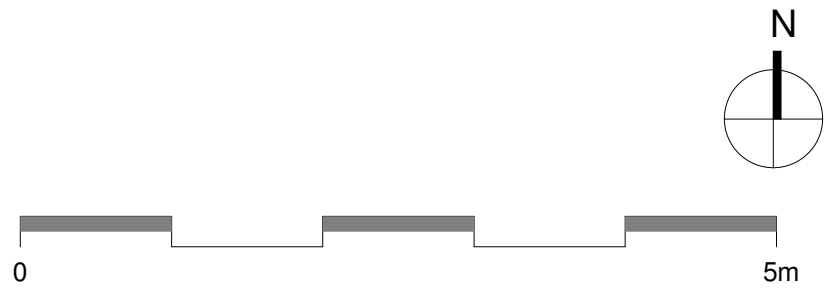
OMP 128 V12 14/11/2022



Proposed Roof Plan
1 : 50

RECEIVED
By Liv Rickman at 5:36 pm, Mar 11, 2025

APPROVED
By Lisa Walton at 9:28 am, May 30, 2025



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Revision Schedule			
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C	05.02.2025	Drawing Updated	JC/AC
B	23.01.2025	Drawings Updated Following Site Visit	JC/AC
A	16.12.2024	Preliminary for Discussion	JC/AC

Drawings to be reviwed by fire consultant

Key

- Existing
- Demolished
- Proposed

Fire Strategy to be reviewed by Fire Consultant

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Project
Park House Isles of Scilly

Title
Proposed Roof Plan

Author JC	Chkd by AC	Scale 1 : 50 @ A1
Project 24129	Status Planning	
Drawing number 24129-KTA-XX-GF-D-A-0032		C