



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, The Parade, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990
Town and Country Planning (Development Management Procedure) Order 2015

GRANTING OF LISTED BUILDING CONSENT

Application No: P/25/048/LBC

Date 29 May 2025
Application Registered:

Applicant: Truro Diocesan Board of Finance
The Old Cathedral School
Cathedral Close
Truro
Cornwall
United Kingdom
TR1 2FQ

Agent: Tim Vian
Owen and Company
Pool Innovation Centre
Trevenson Road
Pool
Redruth
Cornwall
United Kingdom
TR15 3PL

Site Address: The Chaplaincy Church Road Hugh Town St Mary's Isles of Scilly
Proposal: Alterations to windows and French door, installation of traditional internal shutters and localised plaster replacement

In pursuance of their powers under the above act, the Council hereby PERMIT the above development to be carried out in accordance with the following Conditions:

C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

C2 The development hereby permitted shall be carried out in accordance with the approved details only including:

- Plan 1 Location Plan, drawing number: 200512-01 dated March 2020
- Plan 2 Site Plan, drawing number: 200512.10 dated February 2025
- Plan 3 Proposed Elevations, drawing number: 200512.12 dated April 2025
- Plan 4 Proposed Floor Plans, drawing number: 200512.11 dated April 2025
- Plan 5 Proposed New Window Shutters, drawing number: 200512.32 dated April 2025
- Design and Access and Heritage Statement, Owen and Co, date stamped 12 May 2025

These are stamped as APPROVED

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Listed Building in accordance with Policy OE7 of the Isles of Scilly Local Plan 2015-2030.

C3 The internal plastering works shall be carried out in full accordance with the following specification:

- Three-coat lime plaster system applied directly to masonry.

- **First coat: 9–12mm thick, NHL 3.5 mixed at a ratio of 1:2 with CLS 28 sand and reinforced with hair or suitable natural fibre.**
- **Second (straightening) coat: NHL 3.5 mixed at a ratio of 1:2 with CLS 28 sand.**
- **Finishing coat: NHL 2 mixed at a ratio of 1:1 with fine sand graded between 0.8mm and 0.075mm.**
- **Final finish to be achieved using a wooden float.**

Reason: To preserve the character of the Listed Building, in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015–2030).

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and creative way, in accordance with paragraph 39 of the National Planning Policy Framework 2024.
2. This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 29 July 2025



COUNCIL OF THE ISLES OF SCILLY

Planning & Development Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
?0300 1234 105
?planning@scilly.gov.uk

Dear Truro Diocesan Board of Finance

IMPORTANT: Please sign and complete this **Commencement Certificate**.

Anyone intending to begin development under a granted planning permission (including permissions varied under Section 73) is required to notify the local authority of the Commencement Date.

What if plans change?

If development does not start on the stated date, a new notice must be submitted with the revised date.

What happens if you don't comply?

The local planning authority (LPA) can serve a notice requiring the information. Failure to respond within 21 days is an offence, punishable by a fine of up to £1,000, unless the person has a reasonable excuse.

Why is this important?

It gives LPAs better oversight of when development begins, helping with enforcement, monitoring, and infrastructure planning.

Relation to other notices:

This is separate from Building Control commencement notices, though similar in purpose.

This is to certify that decision notice: P/25/048/LBC and the accompanying conditions have been read and understood by the applicant: Truro Diocesan Board of Finance.

1. **I/we intend to commence the development as approved:** Alterations to windows and French door, installation of traditional internal shutters and localised plaster replacement at: The Chaplaincy Church Road Hugh Town St Mary's Isles of Scilly **on:**
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. If the site is found to be inaccessible, then contact details of the applicant/agent/contractor (delete as appropriate) are:

Name:

Contact Telephone Number:



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan, Garrison Lane, St Mary's, Isles of Scilly, TR21 0JD

☎01720 424455

✉planning@scilly.gov.uk

**THIS LETTER CONTAINS IMPORTANT INFORMATION
REGARDING YOUR PERMISSION – PLEASE READ
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £86 per application
- Other permissions - £298 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £44 for householder type applications and £298 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

If the scale of change is not considered to be 'non-material' you may be able to make a 'minor material amendment' which would require to you apply to vary the conditions (providing the change is not contrary to a specific condition). The fee for a householder variation of condition application would be £86, for other non-major (other than householder) development applications the fee would be £586 and for major development the fee would be £2,000.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall
Council Pydar
House Pydar
Street Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online:
<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

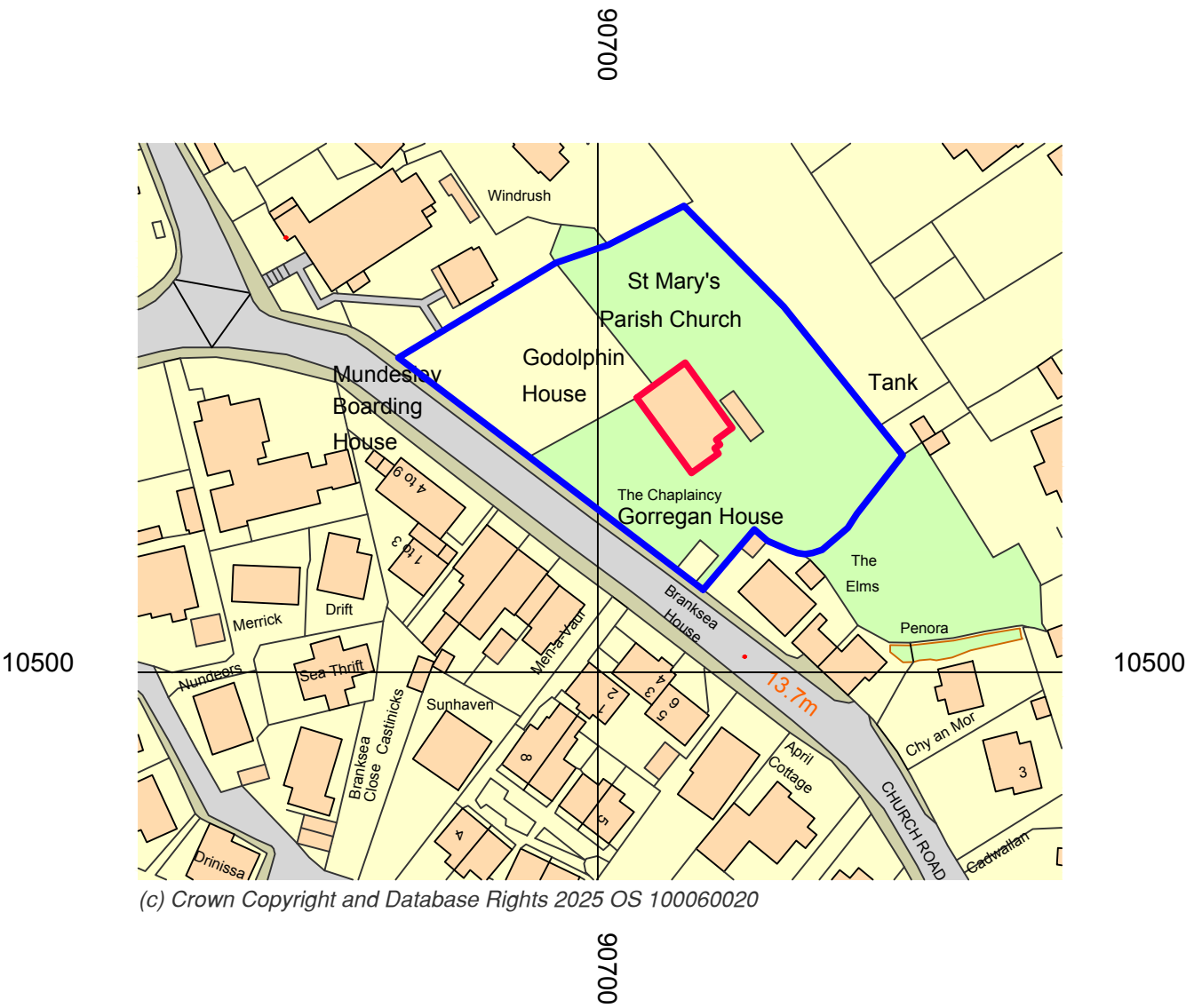
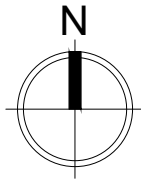
Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department by email: planning@scilly.gov.uk who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 0800 0831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

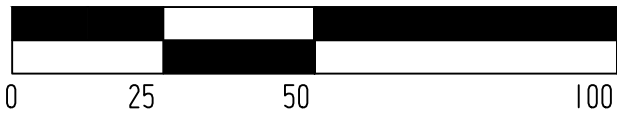


(c) Crown Copyright and Database Rights 2025 OS 100060020

LOCATION PLAN

SCALE 1:1250

APPROVED
By Lisa Walton at 2:05 pm, Jul 29, 2025



SCALE BAR 1:1250

RECEIVED
By Tom.Anderton at 3:10 pm, May 12, 2025

Revision notes:		
Rev:	Date:	Notes:
NOTE: Do not scale for construction purposes. The main contractor and/or specialists are to check and report discrepancies to Owen + Co.		

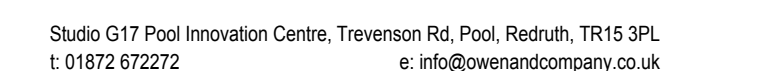
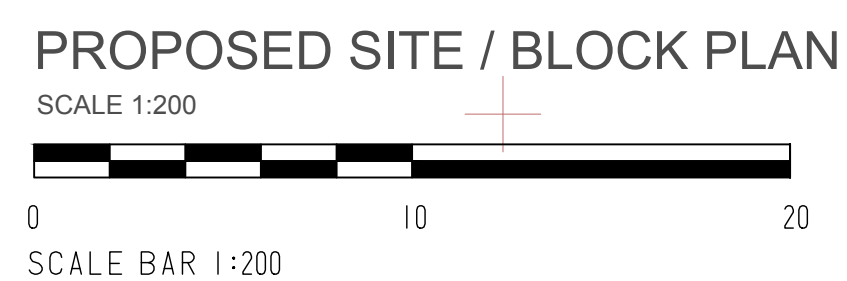
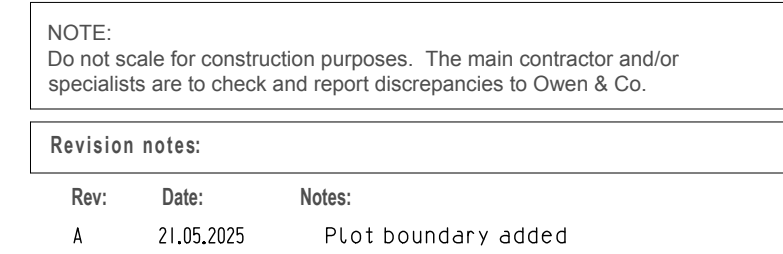
Drawn by: DFB
Designed by: O+C
Checked by: MS
Date: MAR 2020

Drawing Title: LOCATION PLAN		
Scale @ A3: 1:1250	Project No: 200512-01	Revision: *

Client: TRURO DIOCESAN BOARD OF FINANCE

Project: PROPOSED ALTERATIONS TO THE CHAPLAINCY, CHURCH ROAD ST MARY'S ISLES OF SCILLY, TR21 0NA

 Owen +Co <small>BUILDING SUPERVISORS AND ARCHITECTURAL CONSULTANTS</small>	
Studio G17 Pool Innovation Centre, Trevenson Rd, Pool, Redruth, TR15 3PL t: 01872 672272 e: info@owenandcompany.co.uk	



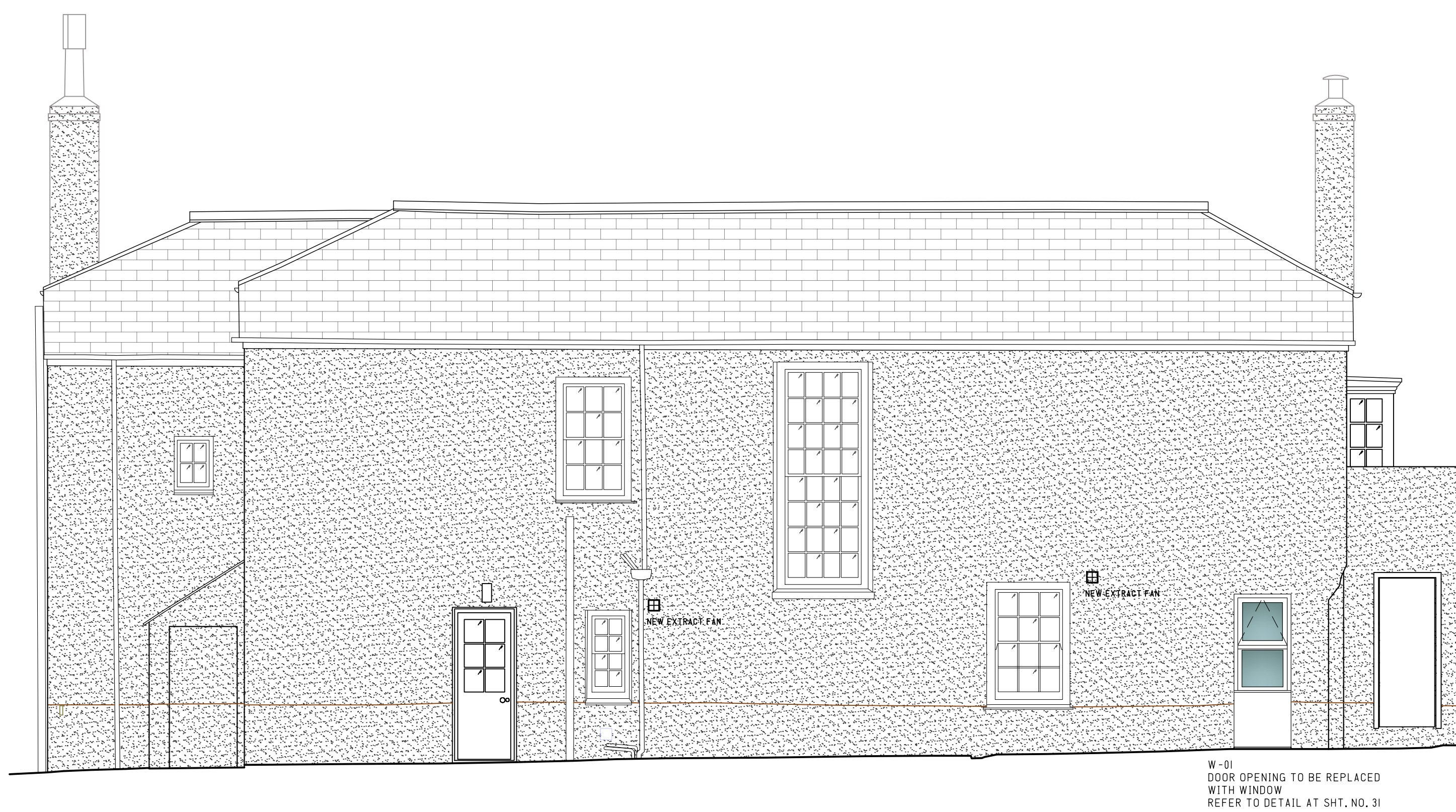
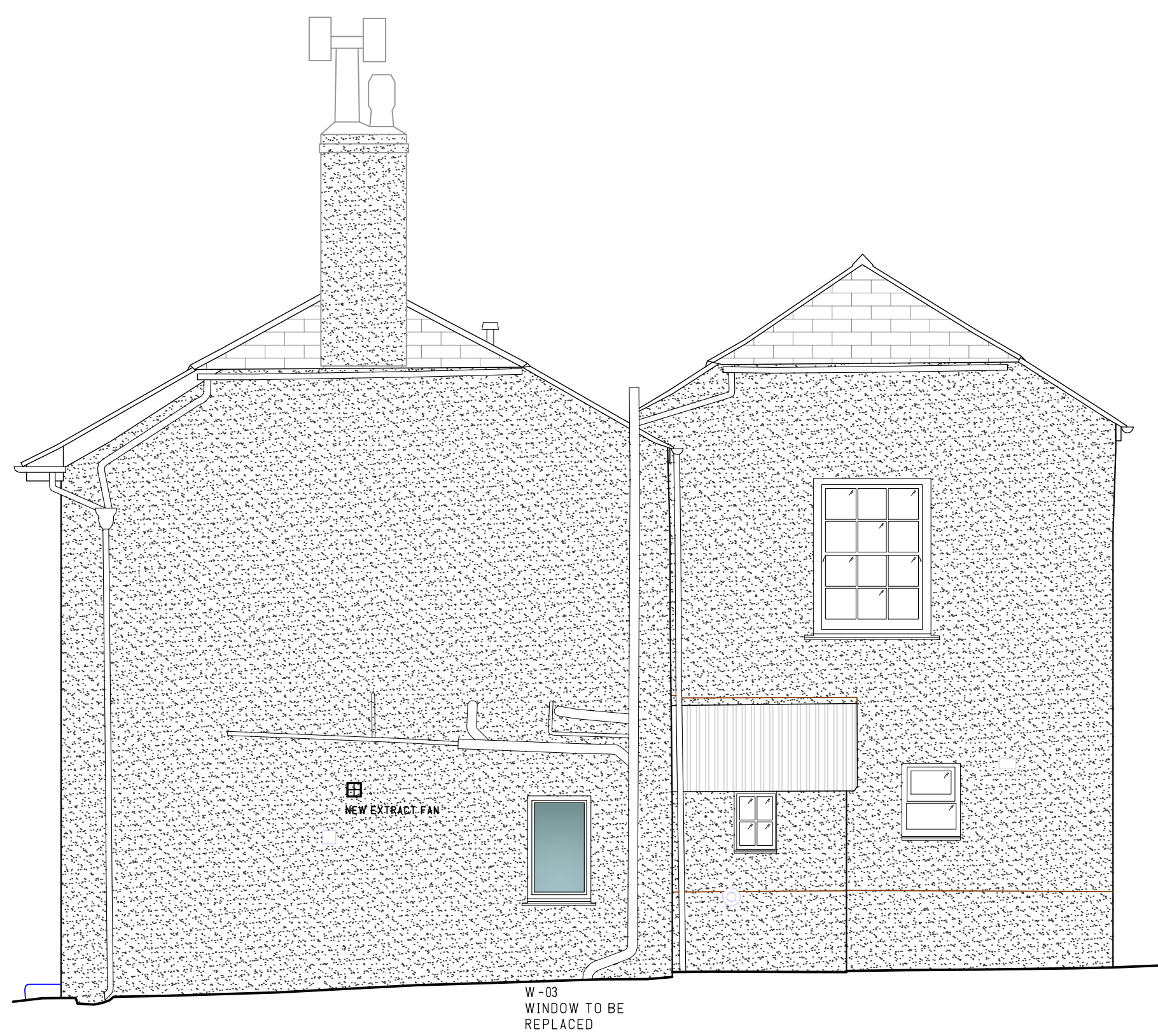
Drawing Title:
PROPOSED BLOCK / SITE PLAN

RECEIVED
By Tom.Anderton at 5:44 pm, May 29, 2025

NOTE:
Do not scale for construction purposes. The main contractor and/or
specialists are to check and report discrepancies to Owen & Co.

Revision notes:

Rev: Date: Notes:



Studio G17 Pool Innovation Centre, Trevenson Rd. Pool, Redruth, TR15 3PL
t: 01872 672272 e: info@owenandcompany.co.uk

Project:
EXTERTANL JOINERY REPLACEMENTS TO
THE CHAPLAINCY, CHURCH ROAD, ST MARY'S
ISLES OF SCILLY, TR21 0NA

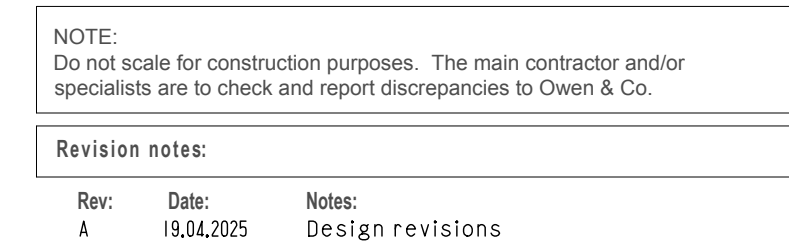
Client:
TRURO DIOCESAN BOARD OF FINANCE







Drawing Title:
PROPOSED ELEVATIONS

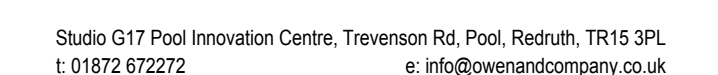
Scale @ A1: AS SHOWN	Project No: 200512.12	Revision: *
Drawn by: DIB	Designed by: O&CO	Checked by: TV
		Date: APR 2025

APPROVED
By Lisa Walton at 2:06 pm, Jul 29, 2025

RECEIVED
By Tom.Anderton at 3:10 pm, May 12, 2025



- LIGHT FITTINGS**
-  RECESSED DOWNLIGHT SPOT, LOW ENERGY LIGHT FITTING
-  SINGLE LIGHT SWITCH
- ELECTRIC POWER FITTINGS**
-  DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL)
-  DOUBLE SWITCHED SOCKET OUTLET (LOW LEVEL)
- GENERAL FITTINGS**
-  RAD
-  POSITIVE INPUT VENTILATION



Project:
THE CHAPLAINCY, CHURCH ROAD, ST MARY'S
ISLES OF SCILLY, TR21 0NA

Client: TRURO DIOCESAN BOARD OF FINANCE

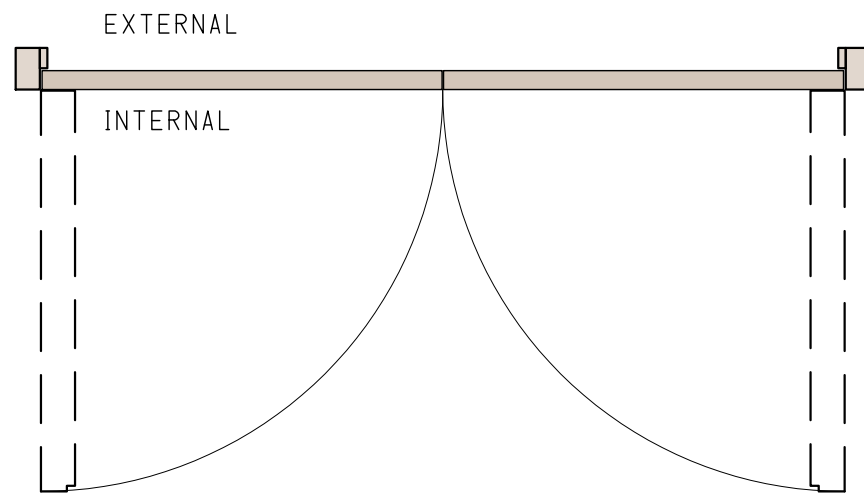
Drawing Title:

PROPOSED FLOOR PLANS

Scale @ A1: AS SHOWN	Project No: 200512.11	Revision: A
Drawn by: DFB	Designed by: O&CO	Checked by: TV
		Date: APR 2025

APPROVED
By Lisa Walton at 2:06 pm, Jul 29, 2025

RECEIVED
By Tom.Anderton at 3:10 pm, May 12, 2025

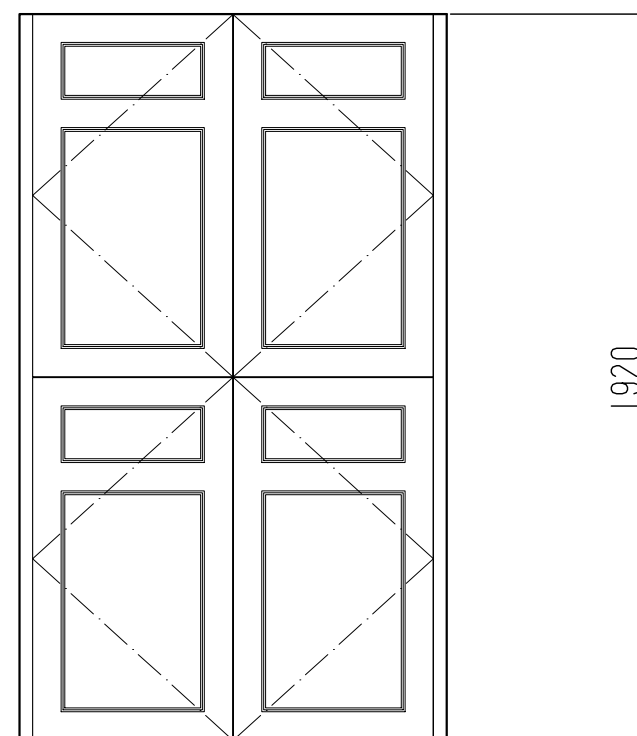


3 TYPICAL DETAIL PLAN

1:10

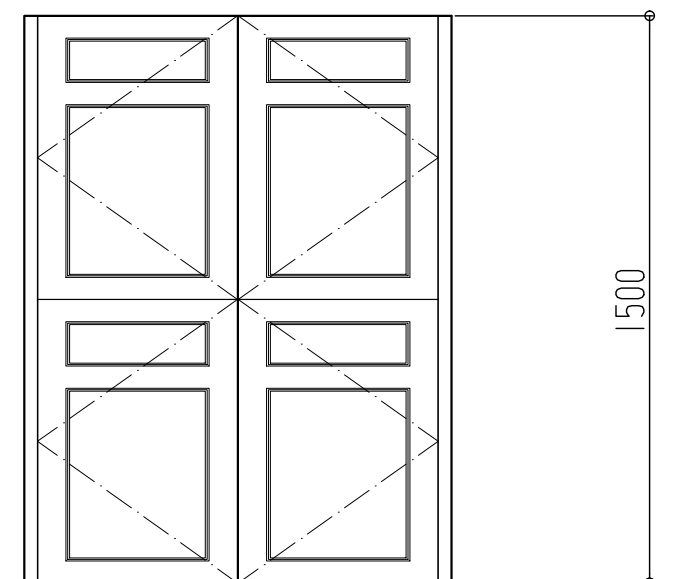
NOTE :

DIMENSIONS TO OPENINGS TO BE CHECKED ON SITE BEFORE MANUFACTURE.



2 FIRST FLOOR WINDOW SHUTTERS

SCALE 1:50

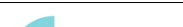


1 GROUND FLOOR WINDOW SHUTTERS

SCALE 1:50

APPROVED
By Lisa Walton at 2:07 pm, Jul 29, 2025

RECEIVED
By Tom.Anderton at 3:10 pm, May 12, 2025

Revision notes: Rev: Date: Notes:		Drawn by: DfB		Drawing Title: PROPOSED NEW WINDOW SHUTTERS		Client: TRURO DIOCESAN BOARD OF FINANCE	Project: PROPOSED RAMPED PATH TO THE CHAPLAINCY, CHURCH ROAD, ST MARY'S ISLES OF SCILLY, TR21 0NA	<div><div>Owen +Co <small>BUILDING SUPERVISORS AND ARCHITECTURAL CONSULTANTS</small></div></div>
		Designed by: O+C						
		Checked by: O+C						
NOTE: Do not scale for construction purposes. The main contractor and/or specialists are to check and report discrepancies to Owen + Co.		Date: APR 25		Scale @ A3: 1:10;1:50	Project No: 200512.32	Revision: *	Studio G17 Pool Innovation Centre, Trevenson Rd, Pool, Redruth, TR15 3PL t: 01872 672272	

RECEIVED

By Tom.Anderton at 3:10 pm, May 12, 2025

APPROVED

By Lisa Walton at 2:07 pm, Jul 29, 2025

Historic Impact Assessment

The Chaplaincy

St Mary's, Isles of Scilly, TR21 0NA

On Behalf: Truro Diocesan Board of Finance



Owen+Co

CONTENTS

1.00	DESCRIPTION	1
2.00	PROPOSAL & IMPACT	1
3.00	CONCLUSION	3
4.00	SUPPORTING PHOTOGRAPHS	4

Prepared by:

Tim Vian MRICS

For and on behalf of Owen & Co Limited
Studio G17 Pool Innovation Centre Trevenson Road Pool Redruth TR15 3PL

1.00 DESCRIPTION

The property is a five-bedroom detached two storey dwelling, currently forming the Chaplaincy.

The Property is located on Church Road, St Mary's, Isles of Scilly, directly to the Southeast of St Mary's Church.

The walls are predominantly solid stone construction with a render finish. The roof comprises 2no. dual pitches separated by a central valley. The roof is covered with a local slate which is laid in wet laid scantle.

Internally ceilings are predominantly fibreboard with battens. The ground floor is solid and the first-floor suspended timber. Windows are predominantly single glazed sash windows.

The property was Grade II listed in 1992 (List No. 1141213):

Rectory. Circa 1830. Rendered granite rubble; hipped slate roof; rendered end stacks. Double-depth plan with central stairhall. 2 storeys; 4-window range. Simple pilaster surrounds at angles and between 3rd and 4th bays. Pilastered porch with 6-fielded-panelled door and diamond pattern glazing bars to overlight. 6/6-pane sashes. 10/10-pane sashes to rear stairwell. Interior: open-well stair set in internal apse with mahogany handrail and stick balusters; large landing with ceiling rose; hall has 2 segmental arches on anthemion brackets; reeded fireplace with paterae in one ground-floor room and Greek-style cornice to one first-floor room.

2.00 PROPOSAL & IMPACT

2.1 Internal Shutters

Proposal

The property has predominantly traditional single glazed sash windows. As a consequence, the property suffers from high heat loss during winter months.

Secondary glazing would potentially provide improved heat retention; however it often restricts the use of the window (limiting the ability to provide efficient ventilation) and is out of keeping with the property.

There is an original shutter within the sitting room which proves effective at mitigating heat loss during, and it is proposed to replicate this.

The solid timber shutters will enhance the character of the property whilst giving the incumbent greater control over their internal environment.

Impact

The alteration will be reversible whilst having a beneficial impact on the character and functionality of the building.

2.2 Improved Mechanical Extraction

Proposal

The property currently has limited extract ventilation which is contributing to condensation issues.

It is proposed to introduce extract ventilation to the kitchen and utility rooms (a requirement under current Building Regulations) – areas of high moisture generation. 2no. 4" core drills through the walls will be required. A conservation vent grill will be fitted externally - Conservation Vent Grille - Cast Iron Air Brick Company.

The existing extractor ventilation to the first-floor bathroom will be improved to ensure effective.

A Positive Input Ventilation System is proposed to be introduced to create reliable air movement and restrict condensation and damp issues.

Impact

The works will involve minor loss of historic fabric in forming the vent holes – 2no. in the external wall and 1 no. in the hallway ceiling. The works will have an overall benefit to the long-term condition of the property, helping to mitigate damp issues and the associated decay this can cause.

2.3 Joinery Replacement

Proposal

It is proposed to replace following joinery:

- First floor French doors (D01) – These units are currently a modern double-glazed unit. The double glazing has failed and requires renewal. The room this serves currently provides bedroom accommodation. The opportunity will be taken to incorporate opening side lights which will improve the ability to ventilate the space more effectively.
- Ground Floor Sitting Room Window (W02) – This is a single glazed casement window. The is a modern unit as evidenced by the mouldings/profiles. The frame is not affected, and it is considered more cost effective to replace the unit complete.
- Ground Floor Study/Store (W01) – This unit is an adapted former door – reconfigured as a glazed window (with reeded glass) and an open louvre above. The open nature of the louvres currently lead to uncontrolled heat losses.

Replacement joinery will be in painted hardwood with double glazing (4,12,4)

Impact

The proposed windows are replacing existing modern replacements – therefore there is no loss of historic fabric. Neutral impact on character with the windows closely matching the existing. The windows will improve the functionality of the building having a beneficial impact.

Plaster Repairs

Proposal

The spine partition separating the stairway and dining room suffers from damp. The wall is solid stone construction which will be directly built of the ground. The solid plaster is likely to have been affected by moisture rising up from the ground and as such will have hygroscopic salts. The plaster will absorb moisture from the air.

The proposal is to renew the plaster using Limelite renovating plaster with a mineral paint finish. The existing picture rail will be used as a break to ensure that the original cornice is maintained undisturbed.

Impact

There will be minor loss of the original plaster due to defect. This has been localised to the minimum required to address the issue.

3.00 CONCLUSION

The proposal covers targeted minor repairs and improvements maintain the property as the ongoing Chaplaincy. In principle it seeks to improve ventilation and thermal performance to mitigate damp issues and ensure the properties condition. The reinstatement of the traditional internal shutters will have a beneficial impact on the character of the property.

4.00 SUPPORTING PHOTOGRAPHS



1. Existing Internal Shutter



2. Existing internal shutter pocket (no shutter)



3. Existing internal shutter pocket (no shutter)



4. Existing door D- 01



5. Existing door D- 01 – note interstitial condensation



6. Existing door D- 01



7. Lounge window - W02



8. Kitchen window - W03



9. W 01



10. Hall – High damp readings



11. Hall – blown plaster



12. Hall – High damp readings