



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, The Parade, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2010

REFUSAL OF PERMISSION FOR DEVELOPMENT

Application No:	P/25/071/HH	Date Application Registered:	13 August 2025
Applicant:	Ms Melanie King Hanjague Rocky Hill St Mary's Isles of Scilly TR21 0NE	Agent:	Mr Ian Sibley Island Architects Porthcressa St Mary's Isles of Scilly Cornwall TR21 0JQ
Site address:	Hanjague Rocky Hill St Mary's Isles of Scilly TR21 0NE		
Proposal:	Ground floor extension to provide utility / boot room, incorporation of outbuilding to provide games room, addition of first floor extension and changes to fenestration.		

In pursuance of their powers under the above act, the Council hereby **REFUSE** the above development for the following reasons:

- R1** The proposed extensions would result in a dwelling with a gross internal floorspace approximately 66-76% greater than the relevant Nationally Described Space Standard, significantly exceeding the 30% maximum threshold permitted by Policy LC8(1)(b) of the Isles of Scilly Local Plan (2015-2030). When considered cumulatively with previous extensions, the proposal would represent a substantial and disproportionate enlargement of the original dwelling. The justification advanced relates primarily to internal reconfiguration and amenity improvements and does not demonstrate a clear, robust and evidence-based proven need for a larger home, as required by Policy LC8. As such, the proposal would undermine the objective of maintaining a balanced housing stock and safeguarding opportunities for smaller and more appropriately sized homes. In addition, the scale and massing of the extensions, including the incorporation of an outbuilding with a first-floor addition, would fail to remain subservient to the host dwelling, contrary to the Isles of Scilly Design Guide. The proposal is therefore contrary to Policy LC8 of the Isles of Scilly Local Plan and the aims of paragraphs 61-63 of the National Planning Policy Framework (2024), which seek to ensure that the size, type and mix of housing reflects identified local needs.

The Decision relates to the following documents and drawings:

Ref No:	Plan Type:	Date Received:
-	Location Plan (1:1250)	11/08/2025
-	Existing Block Plan (1:500)	11/08/2025
25/05 001	Existing Plans and Elevations (1:100)	06/08/2025
-	Proposed Block Plan (1:500)	14/08/2025
25/05 002	Proposed Plans and Elevations (1:100)	06/08/2025

25/05 006	Site Waste Management Plan	06/08/2025
25/05 005	Design and Access Statement	06/08/2025
25/05 007	Sustainable Design Measures	06/08/2025
25-6-3	Preliminary Roost Assessment	06/08/2025
	Design and Floorspace Statement	10/09/2025

The following Policies of the adopted Local Plan (2015-2030) are considered relevant to this decision:

- Policy SS1 Principles of Sustainable Development
- Policy SS2 Sustainable Quality Design and Place-Making
- Policy LC8 Replacement Dwellings and Residential Extensions
- Policy OE1 Protecting and enhancing the landscape and seascape
- Policy OE7 Development affecting heritage (5) Conservation Area

Informatives:

1. In accordance with the National Planning Policy Framework, the Council worked positively and proactively with the applicant and agent, including advising at an early stage that the proposals did not comply with Policy LC8, agreeing to an extension of time, conducting a site visit and affording an opportunity to amend the scheme. Notwithstanding this engagement, the proposals remained contrary to the development plan for the reasons set out above.
2. Notes on Appealing: Guidance on how to appeal this decision, the time limits for doing so, and how to request costs is provided in the Notes on Appealing, issued with this decision.

Signed:



Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 23 January 2026



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW

☎0300 1234 105

✉planning@scilly.gov.uk

Dear Applicant,

As your application has been **refused**, this letter is to inform you of the process in which you can appeal against the decision made by the Local Planning Authority.

Appealing Against the Decision

If you are aggrieved by the decision to refuse your application as detailed on your decision notice, you can appeal against this decision to the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the refused decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

Purchase Notices

Planning control is intended to regulate the development of land in the public interest. For this reason, planning decisions may conflict with the private interests of land owners. There is no entitlement to compensation for adverse planning decisions (except in limited circumstances). This is because owners usually have some continuing benefit from current uses. However, occasionally there may be no reasonably beneficial use for the land. In order to remedy this situation; an owner has the right, in certain circumstances, to serve a "purchase notice" requiring a local authority to purchase their interest in the land. Purchase notices will be considered by the Planning Inspectorate, although you are advised to contact the Planning Department if you wish to consider this option.

Listed Buildings

Please note that any unauthorised works to a listed building are considered to be a criminal offence. If you need further clarification of what type of works may require



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consent, please contact the department.

Re-submissions for Planning Permission

If you consider resubmitting your application, contact the Planning Department so we can explain if or where your application can be improved to be in accordance with local planning policy. In order for the Council reach a different decision, however you will need to address all of the previous reasons for refusal.

Should you require any further advice regarding any part of your application, please contact the Planning Department by email: planning@scilly.gov.uk for assistance.

Design & Access Statement, 25/05 005

Hanjague, Rocky Hill, St Marys, Isles of Scilly

30th July 2025

Overview

Hanjague comprises a detached bungalow, probably dating from the 1930s, with later flat roof extensions to the rear.

It occupies a generous plot, with detached garage / workshop towards the East of the plot and separate flat roof store adjacent to the house. The store is redundant and in need of bringing back into useful occupation.

In addition to the garden land, the property owns part of the field to the immediate West of the property.

Proposal

- To build a ground-floor extension to provide a utility / boot room, and to connect the existing outbuilding to the house.
- To utilise the ground floor of the outbuilding as a childrens' games room.
- To build an additional "room-in-roof" floor above the outbuilding to provide a guest bedroom with en-suite facilities (to replace a bedroom lost in the main house).
- To convert one of the existing bedrooms into a snug with office, and replace the window with French doors to connect with the garden.

Design

The utility / boot room will be single storey to match the existing residential accommodation adjoining. The entire flat roof felt covering will be stripped off, repaired as required, insulated to a good modern standard and a new fibreglass (Restec or similar) covering applied. No windows have been incorporated into the West-facing external wall of the extension to allow for fitted cupboards / coat hanging space internally; natural light will therefore be introduced by way of skylight above.

The outbuilding will have the external walls raised by the minimum amount required to create Building Regulations-compliant upper floor accommodation, surmounted by a pitched roof with natural slate covering. The roof pitch will be the same as the main house, with a common ridge line.

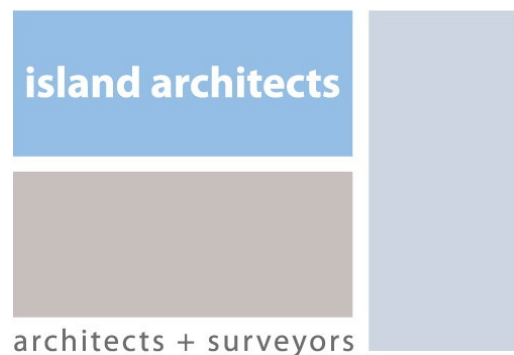
Velux roof windows will be incorporated into the South-facing slope to bring natural light into the bedroom and en-suite shower room. Additional Velux roof windows will be included on both roof slopes to bring natural light into the stairwell, together with an attractive round window in the West-facing gable.

This part of the property is largely screened from neighbouring land, by Pittosporum hedges to the North, by the existing bungalow to the East and South, and by planting (and by the owner's adjoining field to the West. We therefore consider any visual impact will be minimal.

The main house has very attractive gardens and patio seating to the East, but no direct access. Hence, it is proposed to remove a window and replace it with French doors; this will provide much better connectivity between the house and gardens.

Other

The site does not fall within a Flood Risk Area.



Hanjague, Rocky Hill, St Marys, Isles of Scilly
P/25/071/HH

NOT APPROVED

Design and Floorspace Statement 10.09.25

Design Brief

The purpose of the proposal is to:

1. Improve the living accommodation by converting an en-suite bedroom into a “snug” lounge with attached office;
2. Improve connectivity to the garden by way of replacement of windows with French doors;
3. Improve utility / storage space by extension to form a boot room / utility;
4. Convert a redundant outbuilding into a children’s games room, and;
5. Replace the lost bedroom with a new en-suite bedroom above the games room, and;
6. Provide a bridge between the outbuilding and house to provide internal access between the two.

Configuration of House

Whilst the house in its current form is of a reasonable size, it is poorly arranged with excessive bedroom / bathroom accommodation and insufficient living / storage space. It has been used as a holiday let or for B&B purposes for over 40 years where the need for additional living / storage accommodation is minimal.

The house sleeps eight people but it is difficult to seat eight people comfortably in the existing living room, hence the requirement for a snug and the consequent creation of a replacement bedroom in the outbuilding.

The conversion of one of the existing bedrooms also allows space for an office to be used to administer our client’s carpentry business. Given the lack of available tradespeople on Scilly we consider it advantageous to support this essential, skilled local business.

Likewise, storage and utility space is very restricted; the current owners are having to use the attic to store items that would normally be readily accessible, hence the need for the boot room.

The proposed extension very sensibly links an underused outbuilding with the house, providing a games / amenity room for our client’s children.

The property (including the redundant outbuilding) has a current gross internal floor area of approximately 175 sq m. The proposed accommodation has an approximate gross internal floor area of 224 sq m. We understand the new Local Plan requires justification for proposed accommodation that exceeds 30% over the National Minimum Space Standards, which for a four-bedroom, two storey, eight person property is 124 sq m plus 30% = 161 sq m.

To break down the floor areas further, we can confirm the following:

- | | |
|----------------------------------|----------|
| 1. Current area of house: | 154 sq m |
| 2. Current area of outbuilding: | 21 sq m |
| 3. Proposed area of outbuilding: | 43 sq m |

4. Additional circulation space: 27 sq m

We make the following observations:

- The property (including the outbuilding) already exceeds the permitted floor area in existing form. Therefore, ANY extension, however modest, would technically be contrary to planning policy.
- Excluding the outbuilding, floor area is 154 sq m, just 4% below the permitted maximum of 161 sq m.
- However, because of the sprawling and poorly-designed nature of the existing accommodation much of this floor area is circulation space, awkwardly arranged and lacking in utility.
- The proposed increase is relatively modest overall, and defined by a desire to improve the aesthetics and function of the property.
- The increase in building footprint is actually relatively modest at just 12% of the completed floor area.
- To enable a sensible connection between the house and outbuilding, and to facilitate a second staircase, requires a substantial amount of circulation space. This is a significant contributory factor to the overall floorspace and one which doesn't increase number or size of bedrooms or living accommodation. To quantify this, the requirement to link the outbuilding with the existing house accounts for 27 sq m – over 55% of the extended space.
- The relatively “remote” nature of the new bedroom in the outbuilding creates the need for an additional bathroom, again a contributor to floorspace but one that doesn't lead to an intensification of use at the property.

Extension Design Benefits

There are other benefits to the proposals:

- Improved thermal performance of the dwelling as whole, as a result of substantial upgrading of the building fabric to comply with Part L of the Building Regulations (Conservation of Fuel & Power). The property currently has a poor EPC rating Band “F”. We expect this to be improved to Band “D” after the works are completed.
- The property has been neglected for many years, with time-expired single glazed windows and doors, defective roof coverings, etc. These will be replaced with high-quality modern materials.

We would ask that these are taken into account when determining the application.

Planning Purpose

We would respectfully question what useful planning purpose is being served imposing a space restriction on Hanjague? It is in a rural location, well-screened from neighbours with no overlooking, privacy or overcrowding issues. The closest neighbour is in support of the application.

The applicants are a local couple, one employed in an essential local service business, one self-employed running an essential local carpentry business, with children at the local school. This is their home, and they are therefore part of the “Local Market” quoted in the Local Plan. Approving the application will not remove the property from the Local Market – it will simply allow them to create a high-quality home from what is currently a neglected and dated house, and continue to enjoy living and working on the islands.

We understand the justification behind the policy is that, as houses get larger, they also get less affordable. The Local Plan states:

“As all homes on the islands command higher than the national average house price, larger homes are therefore less likely to be affordable to the community, who have on average, lower incomes when compared to the national average. Consequently, proposals for extensions should not result in an imbalance in the existing housing stock, and ensure the retention of an appropriate mix of homes available to the community.

To prevent an imbalance of house types and sizes, and to help retain affordable homes, proposals that seek to extend an existing property significantly, by more than 30% above the minimum for the size of property, will be resisted unless there is a demonstrable proven need for a larger home”.

But using floorspace as a measure of value is simply too blunt a tool to be anything like effective.

Size is clearly just one contributory factor to a property's value. But far more important factors in determining value (and therefore “affordability”) are:

- Location
- Environment
- Quality of accommodation
- Whether it enjoys a sea view

In fact, evidence shows that size of a property on Scilly is relatively unimportant in determining value.

To evidence this, Sibleys Chartered Surveyors have been instructed to analyse open market sales of houses & maisonettes on St Marys in excess of £400,000 over the past two years. We can confirm that Capital Values achieved range from £3,433 psm to £8,828 psm. Spreadsheet attached.

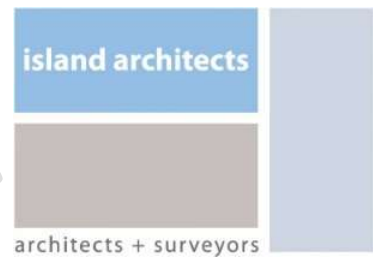
The highest rate achieved (for a small beachside bungalow) is over 2½ times more valuable per sq m than the lowest achieved (a large detached house). On this basis, a property of just 90 sq m could be worth the same as a 224 sq m property (the size of our clients' proposed completed dwelling). Therefore, using property size as a predictor of value, and in turn to inform planning policy, does not stand up to proper scrutiny.

Further examination of the evidence suggests strongly that larger properties are actually better value for money than smaller properties.

Which leads to the question - what do the LPA consider to be “affordable”? Clearly it was affordable to the present owners but may well not be affordable to those on lower incomes or with less capital. Scilly, like all areas, needs a mix of property types & sizes to cater for all demographics. Reducing the size of Hanjague will, in our opinion, do nothing to improve the affordability of Scilly generally and therefore no useful planning purpose is being served by imposing a floorspace restriction.

We are unaware of any empirical evidence to suggest the policy has actually helped to “retain affordable homes”?

Finally, it could reasonably be argued that a logical extension of the policy above is to introduce a further measure preventing homeowners from improving their properties, on the justification that better-presented homes with modern facilities will command higher prices and therefore be less “affordable”. We do not believe such a policy would command support locally, and therefore respectfully ask members to also question what is being served by the current policy.



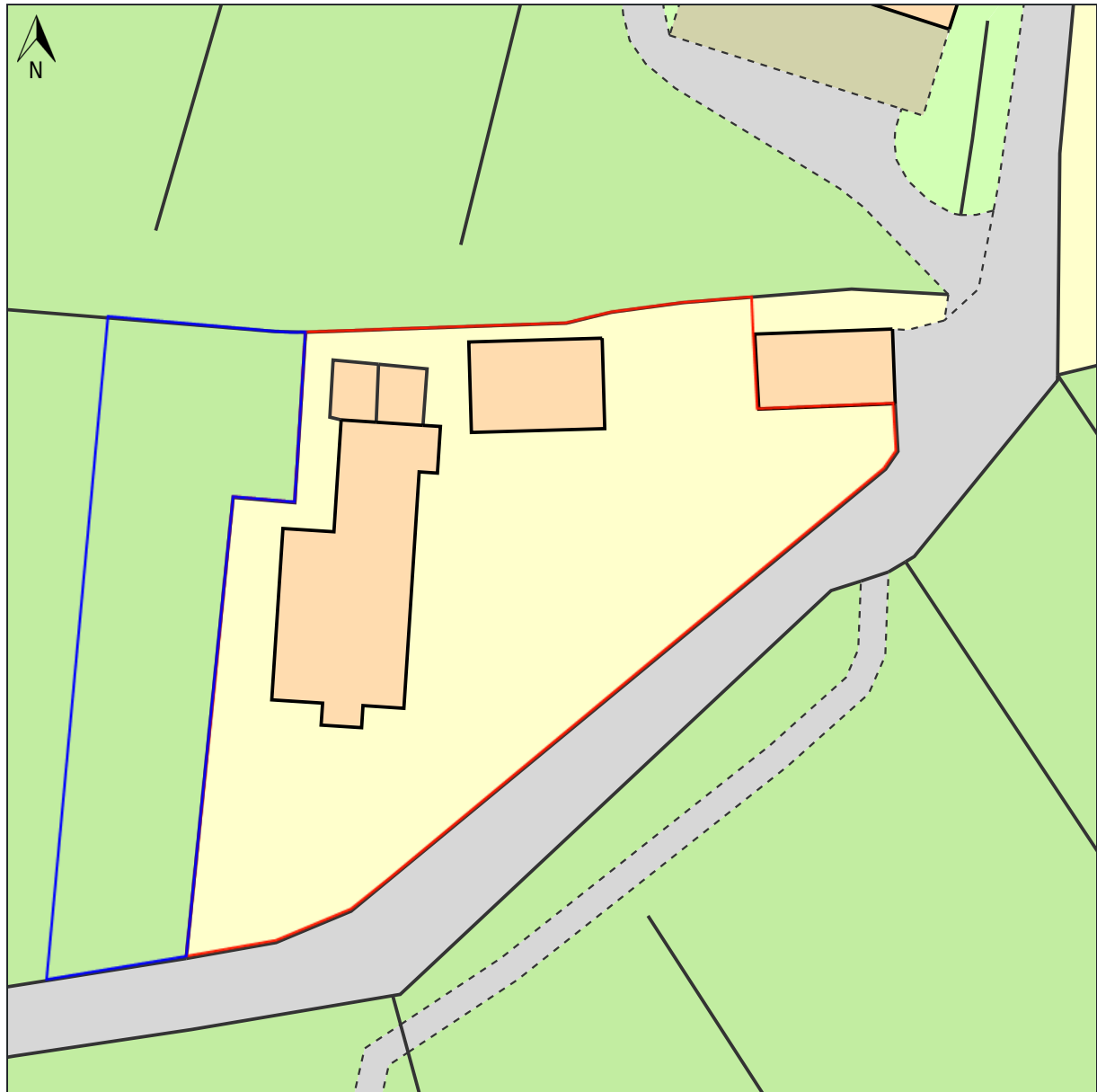
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By Liv Rickman at 5:13 pm, Aug 11, 2025

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HANJAGUE, ROCKY HILL, ST MARY'S, ISLES OF SCILLY, TR21 0NE



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Paper Size: A4

Notes:

Drawing Number 25/05 004

Site / Block Plan



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By Liv Rickman at 12:56 pm, Aug 06, 2025

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Island architects

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architects + surveyors

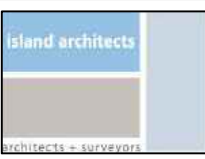
Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies are to be reported immediately.

Notes:

Existing West Elevation

No.	Date	Revision

Ground floor extension to provide utility / boot room, incorporation of outbuilding to create games room and addition of "room in roof" floor to create en-suite guest bedroom



Hanjague
St Marys
Isles of Scilly

DRAWING TITLE

Existing Plans & Elevations

CLIENT

Mrs Melanie King

Dwg. No.

25/05 001

File No.

1:100 @ A1

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29 July 2025

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By Liv Rickman at 5:13 pm, Aug 11, 2025

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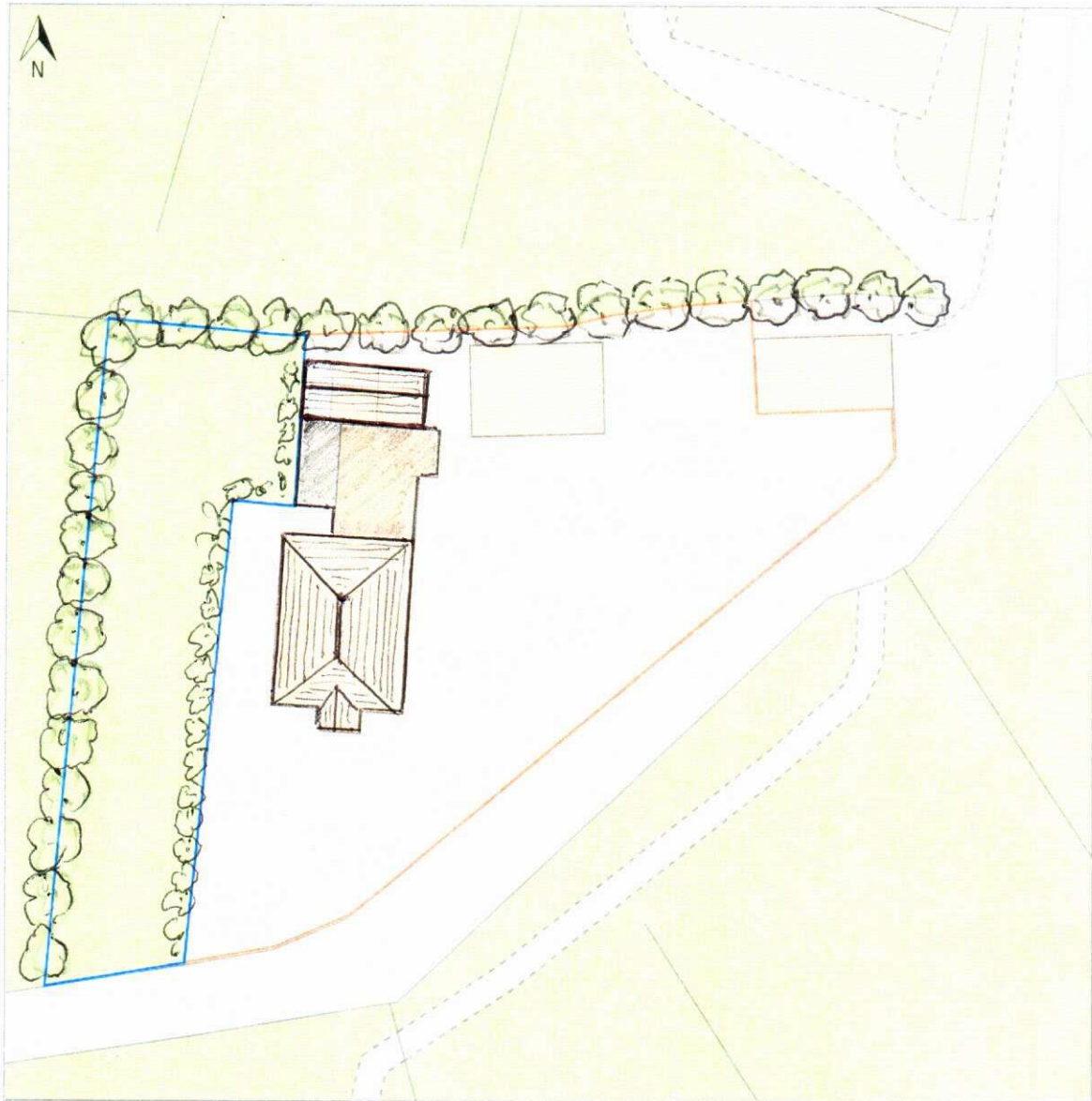
Notes:

Drawing Number 25/05 004

Location Plan



HANJAGUE, ROCKY HILL, ST MARY'S, ISLES OF SCILLY, TR21 0NE



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Notes:

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Proposed Site / Block Plan



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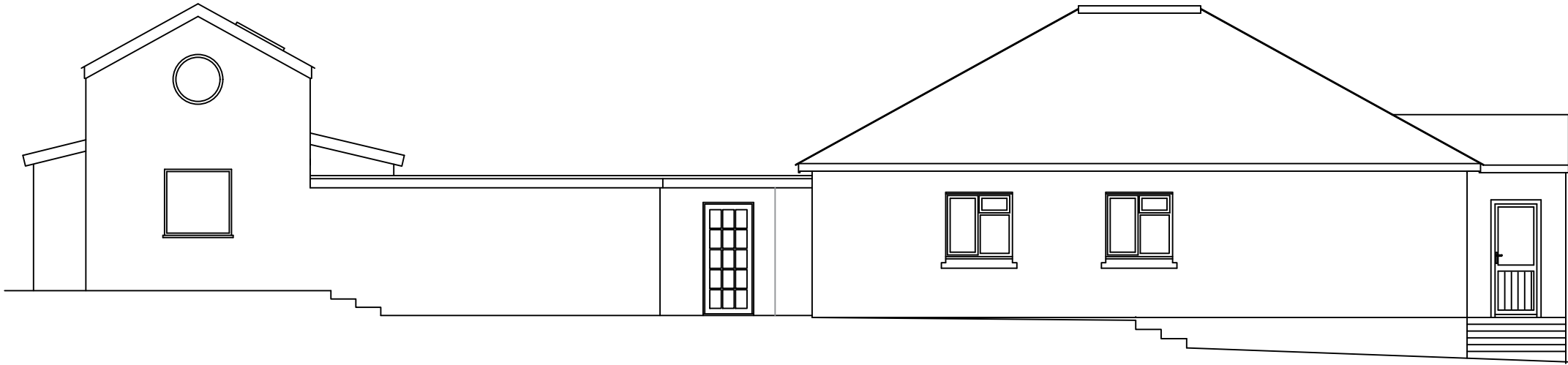
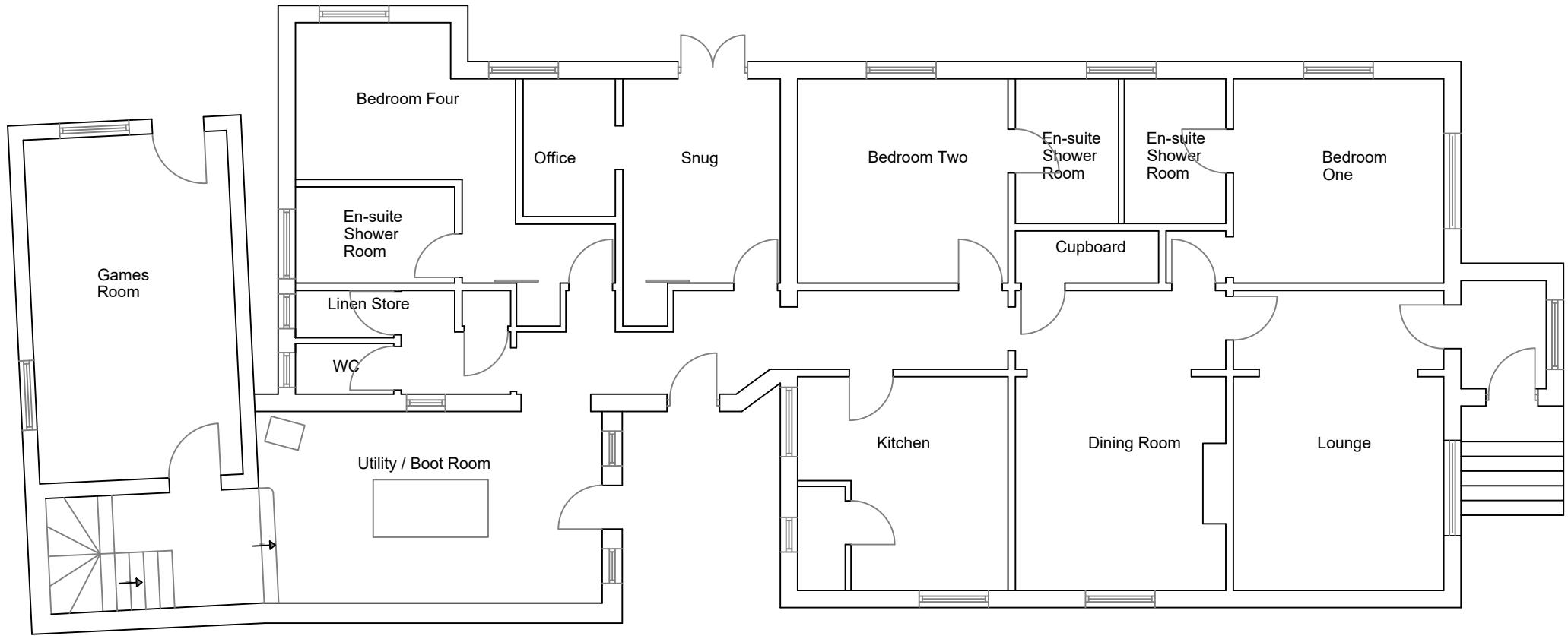
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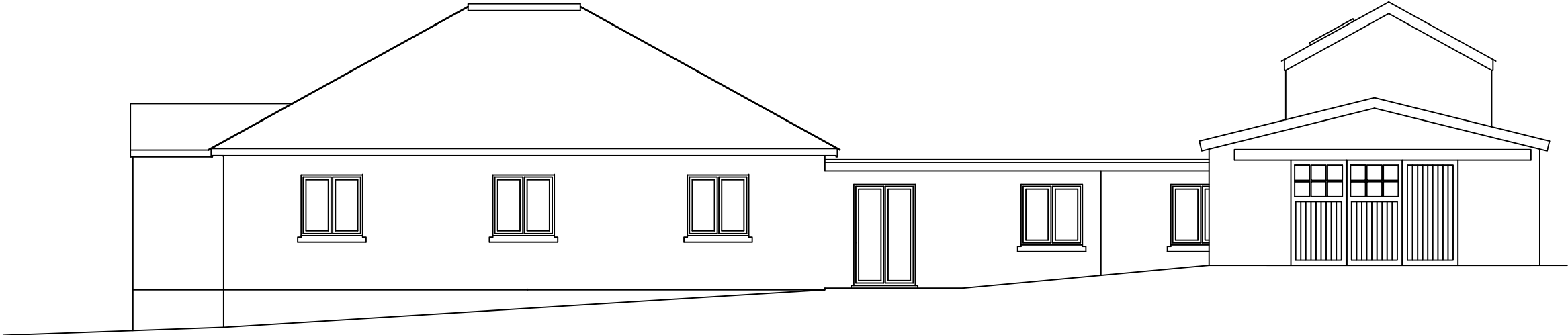
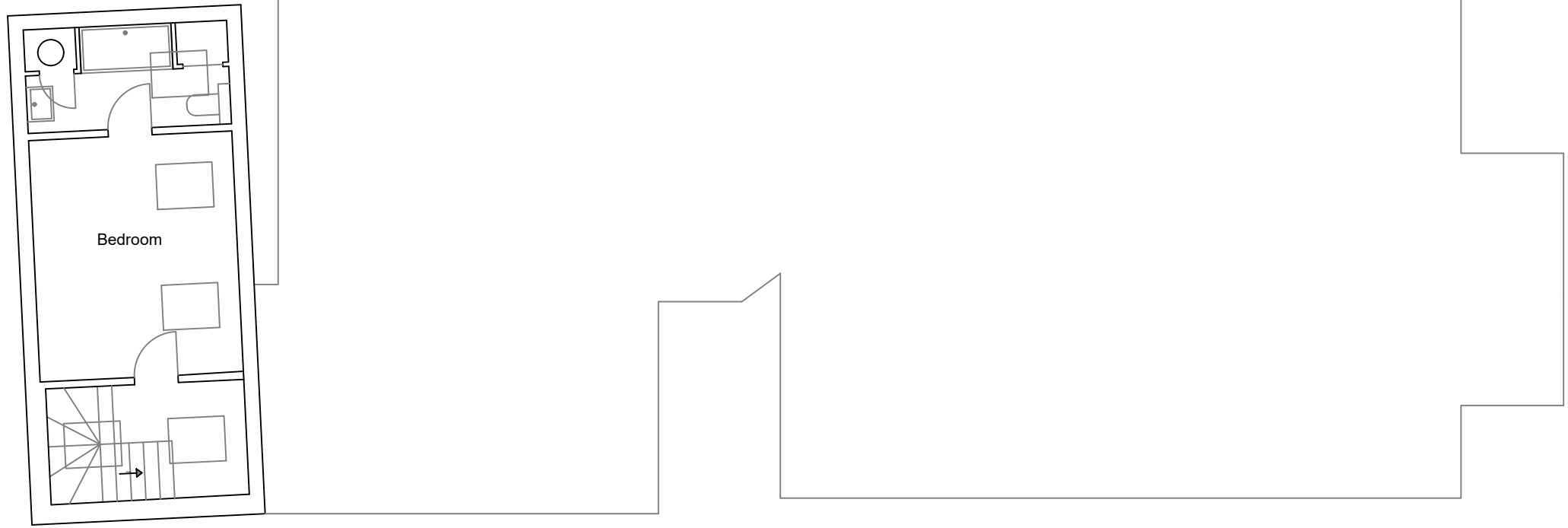
Notes:

Proposed Ground Floor Plan



Proposed West Elevation

Proposed First Floor Plan



Proposed East Elevation

No.	Date	Revision

Ground floor extension to provide utility / boot room, incorporation of outbuilding to create games room and addition of "room in roof" floor to create en-suite guest bedroom

Hanjague
St Marys
Isles of Scilly

DRAWING TITLE

Proposed Plans & Elevations

CLIENT

Mrs Melanie King

Dwg. No.

25/05 002

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NOT APPROVED**Site Waste Management Plan, 25/05 006****Hanjague, Rocky Hill, St Marys, Isles of Scilly****30th July 2025****Description of Project**

Ground floor extension to provide utility / boot room, incorporation of outbuilding to provide games room, addition of "room in roof" floor to provide en-suite guest accommodation and changes to fenestration.

Address of Property

Hanjague, Rocky Hill, St Marys, Isles of Scilly TR21 0NE.

Details of where this plan will be kept on site

The latest edition of the SWMP will be stored on site and online to allow immediate access.

Date Plan originally prepared

30th July 2025.

Project Start Date

1st November 2025

Anticipated Project End Date

30th April 2026

Estimated Duration

26 weeks

Clients

Ms Melanie King, Hanjague, Rocky Hill, St Marys, Isles of Scilly TR21 0NE.

Principal Contractor

Mr D. Bird, Hanjague, Rocky Hill, St Marys, Isles of Scilly TR21 0NE.

Originator

Ian Sibley MRICS, Island Architects, Porthcressa, St Marys, Isles of Scilly TR21 0JQ.

Person responsible for delivery of the Site Waste Management Plan

Mr D. Bird.

Waste Minimisation

The following measures have been identified to minimise the quantity of waste produced during this project:

- The site area is adequate for all arisings to be segregated on site.
- Re-useable materials will be identified on site and removed for storage until re-used within the project. Excess (if available) will be sold to other construction projects on the islands.
- Recyclable / recoverable materials will be removed from site for processing at either the local licenced refuse site at Moorwell, or if this facility is not available will be shipped to the mainland for onward processing at a licenced facility.

Waste Estimates

Estimates for waste produced will depend upon the result of trial excavations.

Excavation waste, if required, will comprise:

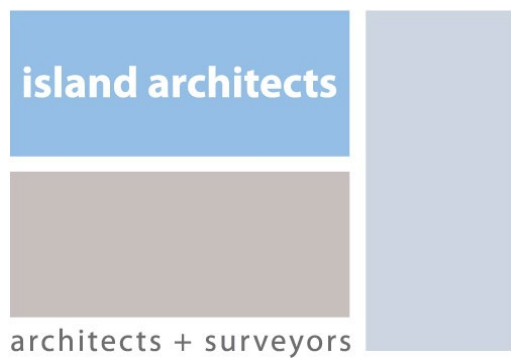
- Topsoil
- "Ram" (degraded granite)
- Broken concrete
- Granite rubble

Arisings from excavation will be re-used, where possible, within the site for landscaping.

Concrete / building block / glass waste will be removed for crushing and recycling into aggregates, and re-used as much as possible on site. Any surplus can be sold to other construction projects.

Excess building timber, where not recoverable, reuseable or recyclable, will be removed to the nearest licensed waste site for disposal.

All existing roof materials are believed to be asbestos free, but if testing confirms that they are “notifiable asbestos material” they will be removed by competent contractors and sent to the mainland for disposal at the nearest licensed site.



Sustainable Design Measures, 25/05 007**Hanjague, Rocky Hill, St Marys, Isles of Scilly****30th July 2025****Description of Project**

Ground floor extension to provide utility / boot room, incorporation of outbuilding to provide games room, addition of "room in roof" floor to provide en-suite guest accommodation and changes to fenestration.

Address of Property

Hanjague, Rocky Hill, St Marys, Isles of Scilly TR21 0NE.

Sustainable Design Measures Proposed

The following measures will be incorporated in the scheme:

Renewable Energy Generation

The development will incorporate a PV array, either on the flat roof or on the South-facing slope of the garage, total output no less than 3KW.

Improved Thermal Performance to Existing Flat Roof

The existing uninsulated flat roof will be removed and insulated to achieve the requirements of Part L of the Building Regulations (conservation of fuel and power), significantly reducing heat loss.

Upgraded windows and doors

Replacement windows and doors will be efficient double-glazed aluminium units compared with the single-glazed softwood units currently in situ.

Heating

Space heating will be via efficient High Heat Retention Storage Heaters.

The logo for island architects, featuring the text "island architects" in white lowercase letters on a blue rectangular background.The logo for architects + surveyors, featuring a grey rectangular background with the text "architects + surveyors" in white lowercase letters below it.
architects + surveyors

PRELIMINARY ROOST ASSESSMENT (PRA)

HANJAGUE,
ROCKY HILL, ST MARY'S, ISLES OF SCILLY



Client: Melanie King

Our reference: 25-6-3

Planning reference: Produced in advance of submission

Report date: 21st July 2025

Author: James Faulconbridge BSc (Hons), MRes, MCIEEM

Contact: ios.ecology@gmail.com



Executive Summary

Bats – Results and Findings

The preliminary roost assessment (PRA) survey concluded that there was **negligible bat roosting potential** in relation to the structures to be impacted by the proposed works.

This judgement was reached in accordance with the survey methodologies and evaluation criteria outlined in the Bat Surveys for Professional Ecologists: Good Practice Guidelines 4th edition.¹

Bats – Further Survey Requirements

No further surveys are recommended – the PRA conclusion does not require further information with regards to bats in order to inform a planning application.

Bats – Recommendations

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations, especially if the condition of structural features were to change. A methodology is provided in Appendix 1.

Nesting Birds – Results and Findings

No obvious nesting habitat for breeding birds was identified associated with the property to be impacted by the proposed works, though there is potential for individual bird species to find isolated opportunities if the structural condition of the property were to change or in adjacent vegetation.

Nesting Birds - Recommendations

Contractors undertaking the works should be vigilant to the potential presence of nesting birds if conditions or opportunities change between the time of the survey and the commencement of works; or when there is a risk of disturbing adjacent vegetation.

¹ Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition). The Bat Conservation Trust, London

PRELIMINARY ROOST ASSESSMENT (PRA)

Planning Authority: Isles of Scilly	Location: SV 91449 11117	Planning Application ref: Report produced in support of application
Planning application address: Hanjague, Rocky Hill, St Mary's, Isles of Scilly		
Proposed development: <p>The proposals for the property were outlined by the client upon instruction of the survey and should correspond with the details included in the Planning Application submitted alongside this report. These involve:</p> <ul style="list-style-type: none"> • The construction of an extension connected with the flat-roof component of the existing structure and occupying the existing footprint of the detached outbuilding. 		
Building references: <p>The building is a bungalow with a flat-roof extension and detached outbuilding identified in the plans provided in Appendix 2.</p>		
Name and licence number of bat-workers carrying out survey: <p>James Faulconbridge (2015-12724-CLS-CLS)</p>		
Preliminary Roost Assessment date: <p>The visual inspection was undertaken on 13th July 2025 in accordance with relevant Best Practice methodology².</p>		
Local and Landscape Setting: <p>The property is situated within a small settlement of dwellings and agricultural buildings in Rocky Hill which lies to the north-east of Hugh Town in St Mary's, Isles of Scilly.</p> <p>The property is set within a mature garden with lawns, herbaceous borders and ancillary buildings. The land use to the east comprises a farmyard with agricultural land to the north, south and west.</p> <p>The wider land use to the north is dominated by small fields within high windbreak hedgerows which are under active cultivation for flower farming. The land to the south is similarly agricultural with a number of pasture fields in amongst the bulb fields. There are small copses and areas of semi-mature elm trees to the east of the property.</p> <p>The desk study did not reveal any records of bats recorded roosting within the building historically and there are no recorded bat roosts within 500m of the property.</p> <p>Five species of bat have been recorded on St Mary's. The species conclusively identified were common pipistrelle (<i>Pipistrellus pipistrellus</i>), soprano pipistrelle (<i>Pipistrellus pygmaeus</i>) and brown long-eared bat (<i>Plecotus auritus</i>). Leisler's bat (<i>Nyctalus leisleri</i>) and Nathusius' pipistrelle (<i>Pipistrellus nathusii</i>) records were also returned though these species are not known to be resident on the island and are likely associated with vagrant or migratory individuals.</p>		

² Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition).
The Bat Conservation Trust, London

Building Description(s):

The following description will provide an overview of the construction and structural condition of the property with a focus on features which, by their design or condition, could provide suitable roosting opportunities for bats.

Bungalow

The existing hipped-roof bungalow was assessed internally and externally as part of the PRA survey. No evidence of bats was identified and, though there are discrete opportunities where bats may find roosting features, their physical separation from the proposed works area would preclude any risk of impact arising from the proposed extension.

For the purposes of clarity and brevity therefore, no further description of the bungalow structure is required for the purposes of the current proposals.

Flat-Roof Extension

The single-storey flat-roof extension is block built with a combination of painted blockwork and rendered sections externally. Both pointing and render are in good condition throughout with no gaps or cracks noted.

The window and door frames are well sealed in their apertures with no gaps, cracks or cavities associated.

The fascia or soffit around the structure is well-fitted and in good condition.

The fibreglass roof covering overhangs the wall edge but is separated by a batten width or more – this is too wide to be suitable for use by roosting bats on a routine basis due to the broad dimensions of this space.

The flat-roof component is connected with the main bungalow with flashing – this junction lies just beneath the fascia on the eaves of the bungalow and appears to be tightly fitted.

There are no internal voids within the flat-roof structure.

Outbuilding

The detached outbuilding is a single-storey flat-roof structure constructed of breeze blocks which are well-pointed.

The window and door frames are well sealed in their apertures with no gaps, cracks or cavities associated.

There is a fascia running around the edge of the structure – this is well fitted and any minor gaps have dense cobwebs indicating long-term lack of disturbance.

The felted roof covering overhangs the wall edge but is separated by a batten width or more – this is too wide to be suitable for use by roosting bats on a routine basis due to the broad dimensions of this space.

Internally, the outbuilding has been stripped back to the battens. Whilst discreet internal roosting opportunities may be present associated with the wall plate, the degree to which the exterior is sealed following a comprehensive inspection would preclude further consideration of this potential.

Survey Limitations

No other significant constraints on access or inspection were noted.

Assessment of Potential for use by Roosting Bats

No evidence of current or historic use by bats was identified during the survey and an overall **negligible potential** was determined.

Recommendations and Justification (Bats):

No further surveys are recommended – the conclusion of **negligible potential** related to the structures to be impacted does not require any further information with regards to bats in order to inform a planning application.

Standard good practice and vigilance must be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations.

The proposals would not affect any confirmed roosts, commuting routes or foraging habitat – therefore no habitat creation is required with regards to bats.

It is recommended that a bat box could be installed on the northern aspect of the new extension to provide an enhancement in the availability of roosting habitat on the islands. This should be positioned close to the apex, to avoid risk of predation by cats, and securely attached with due regard to the weather conditions and wind exposure experienced in this location during the winter months. A Kent Bat Box or similar design would be suitable for this location – the box selected should be suitable for use by common pipistrelle, the species most likely to use a roost in this location.

Assessment of Potential for use by Nesting Birds

The relevant aspects of the property do not appear to offer suitable nesting habitat for breeding birds due to the tightly sealed nature of the existing structure.

There is potential for breeding birds to find suitable nesting habitat in adjacent vegetation which could be disturbed during construction, for example through erection of scaffolding or contractor presence.

Recommendations and Justification (Birds):

In order to ensure legislative compliance, the contractors undertaking the works must ensure that nesting birds are not disturbed in accordance with requirements under the Wildlife and Countryside Act (1981).

Timing of Works

The proposed works could be undertaken outside of the breeding season which runs from March – September inclusive, where practicable. This would provide the most robust means of avoiding risk of impact to nesting birds associated with adjacent vegetation.

Pre-commencement Inspection

If the recommended timing of works is not possible, then contractors should visually inspect the vegetation before it is affected by the works, in order to confirm that no nests are present. In the event that a bird nest is present, it must be left undisturbed until chicks have fledged the nest, at which point works can proceed.

Care must also be taken to ensure that the works do not cause disturbance or damage to proximate nesting areas through indirect impacts including vibration, noise or contractor presence.

Enhancement Opportunities

The proposals are not identified as impacting on any bird nesting habitat in the long term, with any impacts restricted to temporary disturbance of adjacent features for the duration of works.

If the applicant wishes to provide enhancement for nesting birds, bird nest boxes could be installed on the new extension, existing buildings or within shrubs/trees within the garden. The mature garden would offer a high chance of occupation by a range of common birds species. Nest boxes could include those suitable for hole-dwelling species such as blue tits, or open-fronted boxes for species such as blackbird and robin.

Boxes should be mounted on a wall or tree if possible, at a height of at least 3m above the ground with an entrance clear of vegetation/other features which may put them at risk of predation from cats.

Boxes can be sourced online, or can be constructed on site using methodology and specifications provided by the RSPB.

Survey Validity and Update

The data supporting this PRA are considered to provide an appropriate baseline for a planning application submitted within 12 months from the date of survey.

It is recommended that if there are significant changes in building condition, or if a Planning Application is not submitted by July 2026, then an updated walkover survey should be undertaken in order to identify any changes in the ecological assessment of the site and update/amend the assessment accordingly.

APPENDIX 1

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PRECAUTIONARY METHOD STATEMENT WITH REGARDS TO BATS

The purpose of this Method Statement is to ensure that proposed works can proceed where presence of bats has been determined to be unlikely, but a precautionary approach is still advisable. It has been determined that direct harm to roosting bats during the proposed works would be highly unlikely.

Contractors should, however, be aware of **their own legal responsibility with respect to bats**:

Relevant Legislation regarding Bats

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation even if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

(a) *To impair their ability -*

- *to survive, to breed or reproduce, or to rear or nurture their young; or*
- *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*

(b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

Contractors should be aware of **the process to follow in the highly unlikely event of finding bats** or evidence indicating that bats are likely to be present:

If bats are identified, works should cease and the named ecologist contacted immediately for advice.

If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.

Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm **and** if the ecologist cannot be contacted for advice.

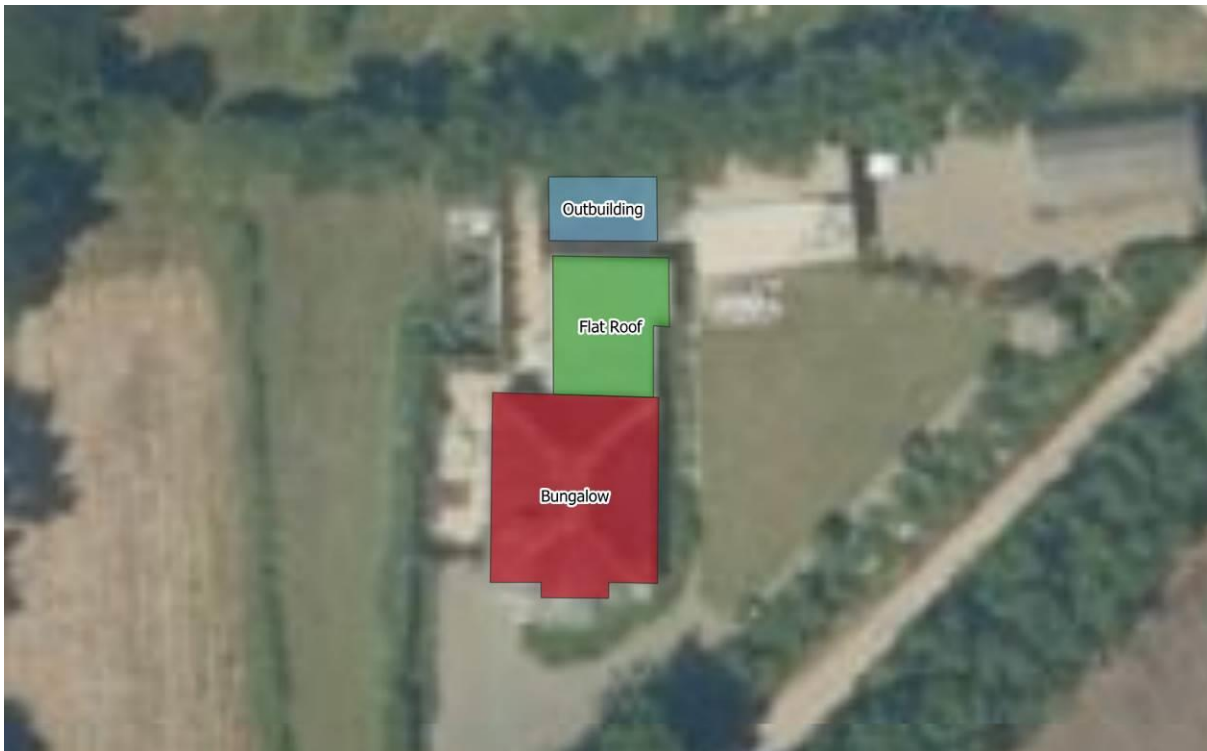
APPENDIX 2

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LOCATION PLAN AND PHOTOGRAPHS



Map 01 – Illustrating location of property within the local environs (red circle). Reproduced in accordance with Google's Fair Use Policy.



Map 02 – Showing the distinct components of the property including the dormer bungalow; the flat-roof extension; and the outbuilding.



Photograph 1: Showing the flat-roof extension tied in with the bungalow on the LHS



Photograph 2: Showing an example of the well-fitted window frames and the wall finish.



Photograph 3: Showing the location where the flat-roof extension on the LHS abuts the detached outbuilding on the RHS.



Photograph 4: Showing an example of the well-sealed fascia



Photograph 5: Showing the detached outbuilding on the RHS



Photograph 6: Showing the interior of the outbuilding.