



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990

Town and Country Planning (Development Management Procedure) Order 2015

PERMISSION FOR VARIED DEVELOPMENT

Application No:	P/25/085/ROV	Date Application Registered:	30 September 2025
Applicant:	Mr John Henegan Coastguard's Retreat Buzz Road Hugh Town St Mary's Isles of Scilly TR21 0JQ	Agent:	Caroline Shortt Hems Studio 86 Longbrook Street Exeter EX4 6AP
Site address:	Coastguard's Retreat Buzz Road Hugh Town St Mary's Isles of Scilly		
Proposal:	Application to vary Condition 2 (Approved Details), Condition C3 (facing materials) and Condition C5 (Balcony Privacy Screen) of planning permission P/24/067/HH (Renovation of existing dwelling to include ground floor extension in place of existing conservatory, dormer windows at first floor and external alterations)		

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following **VARIED** Conditions:

C1 **The development hereby permitted shall be begun before the expiration of three years from the date of planning permission P/24/067/HH (14 November 2024).**

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

C2 **The development hereby permitted shall be carried out in accordance with the approved details only including:**

- **Plan 1 Location Plan, Drawing Number: 04-SVY Rev H, Dated 05 September 2024**
- **Plan 2 Proposed Site Plan, Drawing Number: 1221-051 Rev E, Dated 20 December 2025**
- **Plan 3 Proposed Ground Floor Plan, Drawing Number: 1221-100 Rev I, Dated 16 December 2025**
- **Plan 4 Proposed Lower Ground Floor Plan, Drawing Number: 1221-120 Rev F, Dated 17 December 2025**
- **Plan 5 Proposed First Floor Plan, Drawing Number: 1221-110 Rev C, Dated 10 April 2025**
- **Plan 6 Proposed Roof Plan, Drawing Number: 1221-130 Rev B, Dated 10 April 2025**
- **Plan 7 Proposed Elevations, Drawing Number: 1221-420, Rev I Dated 16 December 2025**
- **Plan 8 Design & Access Statement, Rev C, Received: Sep 12, 2024**
- **Plan 9 PRELIMINARY ROOST ASSESSMENT (PRA), Reference: 24-6-9, Dated: 15th**

These are stamped as APPROVED

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

C3 The development, shall be carried out in full accordance with the facing materials and finishes, as submitted in Drawing Number 1221-420 Revision C, dated 17 December 2025.
Reason: To safeguard the appearance of the building and the character of the area.

C4 No external lighting shall be installed to the dwelling or anywhere within the site unless otherwise agreed in writing by the Local Planning Authority. This exclusion shall not prohibit the installation internal lighting or of sensor-controlled security lighting of 1,000 lumens or less, which shall be designed and shielded to minimise upwards light spillage.
Reason: To protect the amenities of the locality, including the amenities of neighbouring residential properties and to protect the amenities of this rural area and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

C5 The submitted details for the privacy screen on the balcony, as shown on Drawing Number 1221-420 Revision C, dated 17 December 2025 shall be installed as approved and be retained as such thereafter.
Reason: To protect the amenities of the locality, including the amenities of neighbouring residential properties in accordance with Policy LC8(1) of the Isles of Scilly Local Plan (2015-2030).

C6 The development hereby approved shall be undertaken in accordance with the Preliminary Roost Assessment (PRA) (Reference: 24-6-9, Dated: 15th July 2024) and the Bat Presence/Absence Surveys (PAS) (Reference 24-7-9, Dated 24th September 2024).
Reason: To safeguard protected species and their habitats, in accordance with Policy SS2(g) and Policy OE2 of the new Isles of Scilly Local Plan (2015-2030).

PRE-COMPLETION CONDITION: Submission of biodiversity enhancements

C7 Prior to the completion of the development hereby approved, a detailed scheme of planting proposals shall be submitted to and approved in writing by the Local Planning Authority. Planting should consist of native species and should be sourced either from the Isles of Scilly or from high-standard biosecure nurseries. The scheme design shall include a layout of planting to show plant species, planting sizes, locations, densities and numbers. All such work as may be approved shall then be fully implemented in the first planting season, following completion of the development, in accordance with the approved details. Any plants or species which within a period of 5 years from the time of planting die, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
Reason: To ensure the development delivers biodiversity enhancements in accordance with OE2 of the Isles of Scilly Local Plan (2015-2030).

C8 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.
Reason: In the interests of protecting the residential amenities of the islands.

Further Information

- STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 of the National Planning Policy Framework 2023.
- POST-DECISION AMENDMENTS:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be

checked here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf

3. **DISCHARGING CONDITIONS:** In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. The fee is payable for each individual request made to the Local Planning Authority. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied:
https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf

4. **BUILDING REGULATIONS:** This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.

5. **BATS:** The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately, and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately, and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.

6. **BIODIVERSITY NET GAIN:** Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements are considered to apply. These can be found in the legislation. The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that, unless an exception or a transitional arrangement applies, the planning permission granted for the development of land in England is deemed to have been granted subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- a. a Biodiversity Gain Plan2 has been submitted to the planning authority, and
- b. the planning authority has approved the plan.

The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan in respect of this permission would be the Planning Department at the Council of the Isles of Scilly.

7. **COMMENCEMENT NOTICE:** Under Section 93G of the Town and Country Planning Act 1990 (as amended), this decision notice informs you that a 'commencement notice' must be served on the Local Planning Authority - subsections (2) and (3) are set out below:

(2) Before the development is begun, the person proposing to carry it out must give a notice (a "commencement notice") to the local planning authority specifying the date on which the person expects the development to be begun.

(3) Once a person has given a commencement notice, the person:

- o may give a further commencement notice substituting a new date for the date previously given, and
- o must do so if the development is not commenced on the date previously given

The notice should be provided to the Local Planning Authority a minimum of seven (7) days before the development commences.

Failure to provide the commencement notice could lead to the Local Planning Authority serving notice on them to require information to be provided, and if that is not provided within 21 days, they will be guilty of an offence, as below:

(5) Where it appears to the local planning authority that a person has failed to comply with the requirements of subsection (2) or (3)(b), they may serve a notice on any relevant person requiring the relevant person to give the authority such of the information prescribed under subsection (4)(a) as the notice may specify.

(7) A person on whom a notice under subsection (5) is served is guilty of an offence if they fail to give the information required by the notice within the period of 21 days beginning with the day on which it was served.

(9) A person guilty of an offence under subsection (7) is liable on summary conviction to a fine not exceeding level 3 on the standard scale.

PLEASE NOTE: The requirement under Section 93G of the Town and Country Planning Act 1990 (as amended) is separate from any requirements under the Community Infrastructure Levy Regulations 2010 (as amended) or any requirements for serving notices secured through the signed Section 106 Legal Agreement.

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 22 December 2025



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD

0300 1234 105

planning@scilly.gov.uk

Dear Mr John Henegan

IMPORTANT: Please sign and complete this Commencement Certificate.

Anyone intending to begin development under a granted planning permission (including permissions varied under Section 73) is required to notify the local authority of the Commencement Date.

What if plans change?

If development does not start on the stated date, a new notice must be submitted with the revised date.

What happens if you don't comply?

The local planning authority (LPA) can serve a notice requiring the information. Failure to respond within 21 days is an offence, punishable by a fine of up to £1,000, unless the person has a reasonable excuse.

Why is this important?

It gives LPAs better oversight of when development begins, helping with enforcement, monitoring, and infrastructure planning.

Relation to other notices:

This is separate from Building Control commencement notices, though similar in purpose.

This is to certify that decision notice: P/25/043/ROV and the accompanying conditions have been read and understood by the applicant: Mr John Henegan.

1. **I/we intend to commence the development as approved:** Application to vary Condition 2 (Approved Plans) of planning permission P/24/067/HH (Renovation of existing dwelling to include ground floor extension in place of existing conservatory, dormer windows at first floor and external alterations) at: Coastguard's Retreat Buzzza Road Hugh Town St Mary's Isles Of Scilly **on:**
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name:

Contact Telephone Number:

And/Or Email:

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) before you commence (where relevant) or as part of the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

PRE-COMPLETION CONDITION: Submission of biodiversity enhancements

C7 Prior to the completion of the development hereby approved, a detailed scheme of planting proposals shall be submitted to and approved in writing by the Local Planning Authority. Planting should consist of native species and should be sourced either from the Isles of Scilly or from high-standard bio secure nurseries. The scheme design shall include a layout of planting to show plant species, planting sizes, locations, densities and numbers. All such work as may be approved shall then be fully implemented in the first planting season, following completion of the development, in accordance with the approved details. Any plants or species which within a period of 5 years from the time of planting die, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Old Wesleyan, Garrison Lane , St Mary's, Isles of Scilly, TR21 0JD
01720 424455
planning@scilly.gov.uk

THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £86 per application
- Other permissions - £298 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £44 for householder type applications and £298 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

If the scale of change is not considered to be 'non-material' you may be able to make a 'minor material amendment' which would require you to apply to vary the conditions (providing the change is not contrary to a specific condition). The fee for a householder variation of condition application would be £86, for other non-major (other than householder) development applications the fee would be £586 and for major development the fee would be £2,000.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall
Council Pydar
House Pydar
Street Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online:

<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department by email: planning@scilly.gov.uk who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 0800 0831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

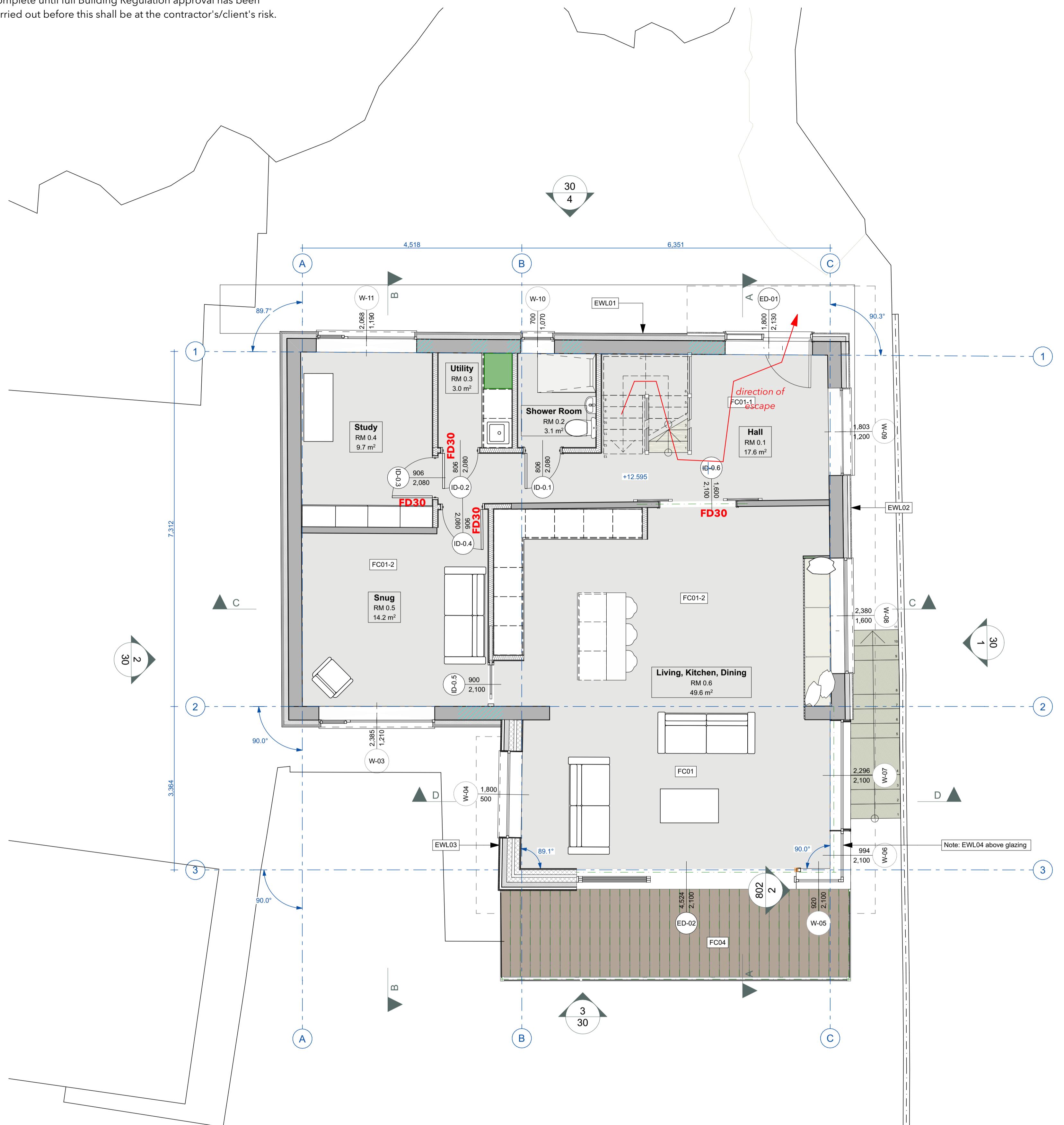


RECEIVED
By Lisa Walton at 9:03 am, Dec 22, 2025

APPROVED
By Lisa Walton at 2:33 pm, Dec 22, 2025

Revisions		
A	23/01/25	Draft Issue
B	29/01/25	Revised layout at clients request
C	29/03/25	Added balcony to drawing
D	17/09/25	Amendments to balcony
E	17/12/25	Balcony width adjusted.

Drawing Issued: 20/12/2025



CONSTRUCTION NOTES

For General Requirements and Specification notes please refer to drawings 1221-101 / 111 / 121

EXTERNAL WALLS

EWL01: UPGRADE - EWI with render finish to existing walls, U-value 0.17 W/m²K
Thin coat silicone render on mesh on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to existing masonry walls. Insulation within existing cavity to be removed and kept clear. 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL02: UPGRADE - EWI with timber clad finish to existing walls, U-value 0.17 W/m²K
Vertical rain-screen timber cladding, 25x50mm SW treated battens and counter battens painted black, Tyvek UV Facade, on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to existing masonry walls. Insulation within existing cavity to be removed and kept clear. 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL03: Cavity masonry wall with EWI and timber clad finish, U-value 0.17 W/m²K
Vertical rain-screen timber cladding, 25x50mm SW treated battens and counter battens painted black, Tyvek UV Facade, on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to two leaves of medium dense blockwork with approx 50mm clear cavity (to match existing cavity wall below). 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL04: Cavity masonry wall with EWI and powdercoated aluminium finish above glazing, U-value 0.17 W/m²K
Powdercoated Aluminium pressing, 25x50mm SW treated battens and counter battens painted black, Tyvek UV Facade, on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to two leaves of medium dense blockwork with approx 50mm clear cavity (to match existing cavity wall below). 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL05: Cavity masonry wall with EWI and render finish, U-value 0.17 W/m²K
Thin coat silicone render on mesh on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to two leaves of medium dense blockwork with approx 50mm clear cavity (to match existing cavity wall below). 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL06: 140mm Timber frame wall to dormer with zinc clad finish, U-value 0.17 W/m²K
VM-Zinc Plus Quartz-Zinc Strat cladding on 18mm WBP Plywood, on 38x38 SW treated Battens, on Tyvek UV Facade breather membrane on 9mm OSB3 sheathing board (TBC by SE) on 140x50mm C24 Timber studwork with 100mm Kingspan Kooltherm K112 between studs, with 37.5mm Kooltherm K118 Insulated plasterboard internally with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL07: 140mm Timber frame wall to dormer with timber clad finish, U-value 0.17 W/m²K
Vertical open rain-screen timber cladding, 22x50mm SW treated battens and counter battens painted black, Tyvek UV Facade, on 9mm OSB3 sheathing board (TBC by SE) on 140x50mm C24 Timber studwork with 100mm Kingspan Kooltherm K112 between studs, with 37.5mm Kooltherm K118 Insulated plasterboard internally with 2mm Thistle MultiFinish (finish coat) and paint finish.

NB:
Brickwork plinth not applicable to project. Refer to 500 series of drawings for further detail.

INTERNAL WALLS

IWL01 - 100mm Stud Partition
12.5mm Gyproc SoundBloc with skim and paint finish on 50 x 100mm C24 timber stud walls** with 75mm acoustic mineral wool between studs.

*New linings to wet or tiled areas to be 12.5mm Wedi board (or equal equivalent).
**Allow for plywood (to EN 636-3) grounds where required to support hung toilets, wash hand basins, etc. Provide edge/corner beads to all outside corners and stop beads to all window and roof light surrounds.

Skirting boards are to be 100-125mm x 15mm thick square edged painted MDF to finish 100mm AFFL.

FLOORS

FC01: UPGRADE - Solid Floor Upgrade
Roth QuickTemp Climacomfort System (Floor finish, 6mm ply, 17mm thick Roth QuickTemp board with screed over) 18mm ply deck, 75mm insulation, damp proof membrane, levelling compound, existing concrete slab.

FC01-1: ACOUSTIC UPGRADE - Suspended Floor Upgrade
Roth QuickTemp Climacomfort System, (Floor finish, 6mm ply, 17mm thick Roth QuickTemp board with screed over) 18mm ply deck over existing 175x50mm timber joists, Air tightness membrane installed over / between joists forming an air tight seal. Acoustic upgrade to area of floor over existing studio to feature British Gypsum Solid Floor System, consisting of Gyproc Planks installed within Gyframe SIF Channels to top of joists, with details to follow.

FC01-2: THERMAL UPGRADE - Suspended Floor Upgrade
Areas of suspended timber joists below to be fully insulated with insulation to the depth of the existing joist. The existing chipboard is to remain in place with the new finish installed over. Roth QuickTemp Climacomfort System, (Floor finish, 6mm ply, 17mm thick Roth QuickTemp board with screed over) 18mm ply deck over existing 175x50mm timber joists, Air tightness membrane installed over / between joists forming an air tight seal.

FC02: First Floor pozi-joist with carpet finish, U-value N/A
Carpet and underlay (To clients specification) on Roth QuickTemp Universal Chipboard System, 254mm Pozi-joists @ 400 ctrs (to SE specification) with 200mm Thermaflex Cozywell between joists, 12.5mm British Gypsum SoundBloc on resilient bars with Thistle MultiFinish (finish coat) and paint finish.

FC03: First Floor pozi-joist with porcelain tile finish, U-value N/A
Porcelain floor tile (To clients specification), Schluter Ditra mat, subfloor build up as per FC02

FC04: Ground floor balcony
Fire rated aluminium decking, over 75mm DS75 steel joists over 150 x 75 x 18 Galvanised PFC frame to S.Engs details.

APPROVED

By Lisa Walton at 2:32 pm, Dec 22, 2025

RECEIVED

By Lisa Walton at 11:04 am, Dec 17, 2025

Revisions

A	23/01/25	Draft Issue
B	29/01/25	Revised layout at clients request
C	03/02/25	Revised layout at clients request
D		Not used
E	24/06/25	Fire strategy information added to drawing
F	29/07/25	Hall area updated.
G	20/08/25	Amended balcony area
H	04/09/25	Amended amendments to construction notes
G	16/12/25	Amended balcony length

Drawing Issued: 16/12/2025

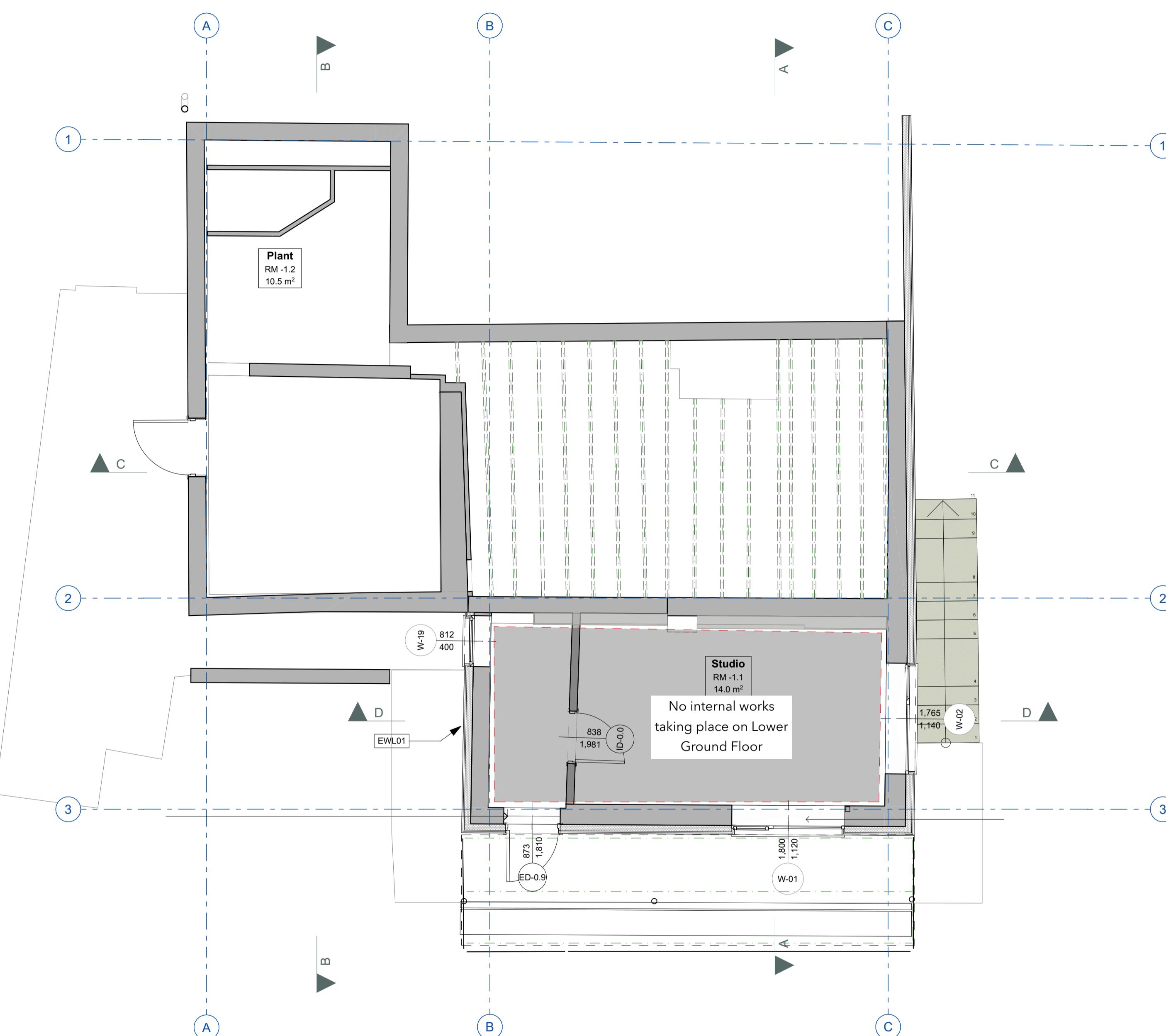
Notes

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Coastguard's Retreat
Coastguard's Retreat, St Mary's, Isles of Scilly, TR21 0JQ
John and Nicola Heneghan
Hems Studio, 86 Longbrook Street, Exeter, EX4 6AP
T: 01392 435 051
E: studio@barcarchitects.com

Drawing Title: Ground Floor GA
Drawing Status: Planning
Drawing Scale: 1:50 @ A1 (50% @ A3)
Drawing Number: 1221- 100
Revision: CW



CONSTRUCTION NOTES

For General Requirements and Specification notes please refer to drawings 1221-101 / 111 / 121

EXTERNAL WALLS

EWL01: UPGRADE - EWI with render finish to existing walls, U-value 0.17 W/m²K
Thin coat silicone render on mesh on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to existing masonry walls. Insulation within existing cavity to be removed and kept clear. 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL02: UPGRADE - EWI with timber clad finish to existing walls, U-value 0.17 W/m²K
Vertical rain-screen timber cladding, 25x50mm SW treated battens and counter battens painted black, Tyvek UV Facade, on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to existing masonry walls. Insulation within existing cavity to be removed and kept clear. 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL03: Cavity masonry wall with EWI and timber clad finish, U-value 0.17 W/m²K
Vertical rain-screen timber cladding, 25x50mm SW treated battens and counter battens painted black, Tyvek UV Facade, on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to two leaves of medium dense blockwork with approx 50mm clear cavity (to match existing cavity wall below). 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL04: Cavity masonry wall with EWI and Powdercoated aluminium finish above glazing, U-value 0.17 W/m²K
Powdercoated Aluminium pressing, 25x50mm SW treated battens and counter battens painted black, Tyvek UV Facade, on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to two leaves of medium dense blockwork with approx 50mm clear cavity (to match existing cavity wall below). 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL05: Cavity masonry wall with EWI and render finish, U-value 0.17 W/m²K
Thin coat silicone render on mesh on 110mm Kingspan Kooltherm K5 insulation (50mm and 60mm machine bonded together) mechanically fastened and adhered to two leaves of medium dense blockwork with approx 50mm clear cavity (to match existing cavity wall below). 12.5mm Gyproc Wallboard on dabs with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL06: 140mm Timber frame wall to dormer with zinc clad finish, U-value 0.17 W/m²K
VM-Zinc Plus Quartz-Zinc Strat cladding on VM-Zinc slip membrane, on 18mm WBP Plywood, on 38x38 SW treated Battens, on Tyvek UV Facade breather membrane on 9mm OSB3 sheathing board (TBC by SE) on 140x50mm C24 Timber studwork with 100mm Kingspan Kooltherm K112 between studs, with 37.5mm Kooltherm K118 Insulated plasterboard internally with 2mm Thistle MultiFinish (finish coat) and paint finish.

EWL07: 140mm Timber frame wall to dormer with timber clad finish, U-value 0.17 W/m²K
Vertical open rain-screen timber cladding, T25x50mm SW treated battens and counter battens painted black, Tyvek UV Facade, on 9mm OSB3 sheathing board (TBC by SE) on 140x50mm C24 Timber studwork with 100mm Kingspan Kooltherm K112 between studs, with 37.5mm Kooltherm K118 Insulated plasterboard internally with 2mm Thistle MultiFinish (finish coat) and paint finish.

NB:
Brickwork plinth not applicable to project. Refer to 500 series of drawings for further detail.

INTERNAL WALLS

IWL01 - 100mm Stud Partition
12.5mm Gyproc SoundBloc with skim and paint finish on 50 x 100mm C24 timber stud walls** with 75mm acoustic mineral wool between studs.

*New linings to wet or tiled areas to be 12.5mm Wedi board (or equal equivalent).
**Allow for plywood (to EN 636-3) grounds where required to support hung toilets, wash hand basins, etc. Provide edge/ corner beads to all outside corners and stop beads to all window and roof light surrounds.

Skirting boards are to be 100-125mm x 15mm thick square edged painted MDF to finish 100mm AFLL.

FLOORS

FC01: UPGRADE - Solid Floor Upgrade
Roth QuickTemp Climacool System (Floor finish, 6mm ply, 17mm thick Roth QuickTemp board with screed over) 18mm ply deck, 75mm insulation, dam proof membrane, levelling compound, existing concrete slab.

FC01-1: ACOUSTIC UPGRADE - Suspended Floor Upgrade
Roth QuickTemp Climacool System, (Floor finish, 6mm ply, 17mm thick Roth QuickTemp board with screed over) 18mm ply deck over existing 175x50mm timber joists, Air tightness membrane installed over / between joists forming an air tight seal. Acoustic upgrade to area of floor over existing studio to feature British Gypsum Silent Floor System, consisting of Gyproc Planks installed within Gyframe SIF Channels to top of joists, with details to follow.

FC01-2: THERMAL UPGRADE - Suspended Floor Upgrade
Areas of suspended timber joists below to be fully insulated with insulation to the depth of the existing joist. The existing chipboard is to remain in place with the finish installed over. Roth QuickTemp Climacool System, (Floor finish, 6mm ply, 17mm thick Roth QuickTemp board with screed over) 18mm ply deck over existing 175x50mm timber joists, Air tightness membrane installed over / between joists forming an air tight seal.

FC02: First Floor pozi-joist with carpet finish, U-value N/A
Carpet and underlay (To clients specification) on Roth QuickTemp Universal Chipboard System, 254mm Pozi-joists @ 400 ctrs (to SE specification) with 200mm ThermoFleece Cosywool between joists, 12.5mm British Gypsum SoundBloc on resilient bars with Thistle MultiFinish (finish coat) and paint finish.

FC03: First Floor pozi-joist with porcelain tile finish, U-value N/A
Porcelain floor tile (to clients specification), Schluter Ditra mat, subfloor build up as per FC02

FC04: Ground floor balcony
Fire rated aluminium decking, over 75mm DS75 steel joists over 150 x 75 x 18 Galvanised PFC frame to S.Engs details.

APPROVED
By Lisa Walton at 2:33 pm, Dec 22, 2025

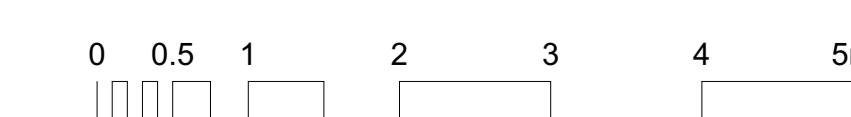
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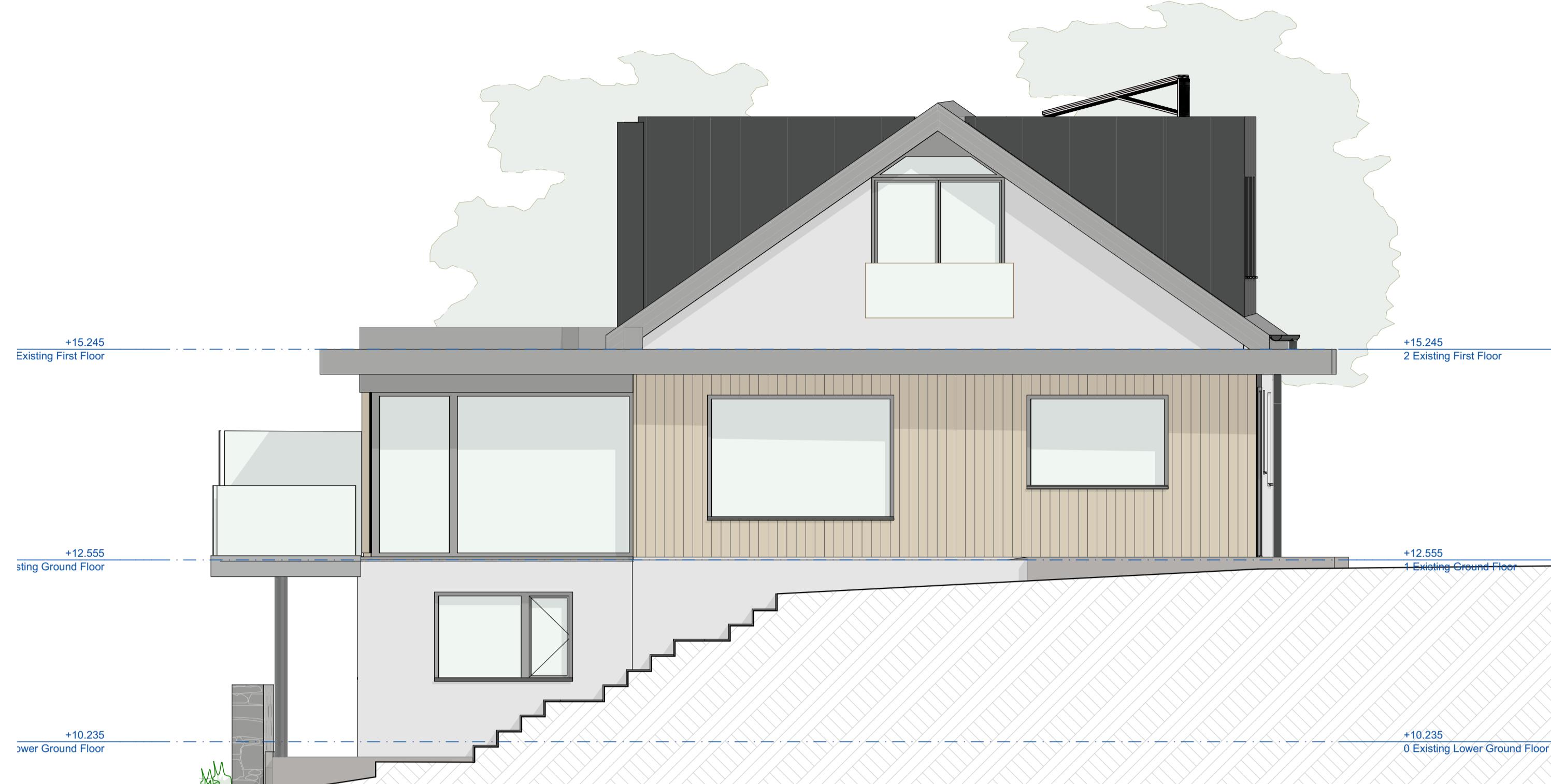
Revisions		
A	23/01/25	Draft Issue
B	29/01/25	Revised layout at clients request
C	24/06/25	Added note to include L.G.F from works
D	27/06/25	Amendment to notes
E	04/09/25	Added missing external doors / added W-19 to existing opening / changes to construction notes
F	16/12/25	Balcony profile updated

Drawing Issued: 17/12/2025

Notes

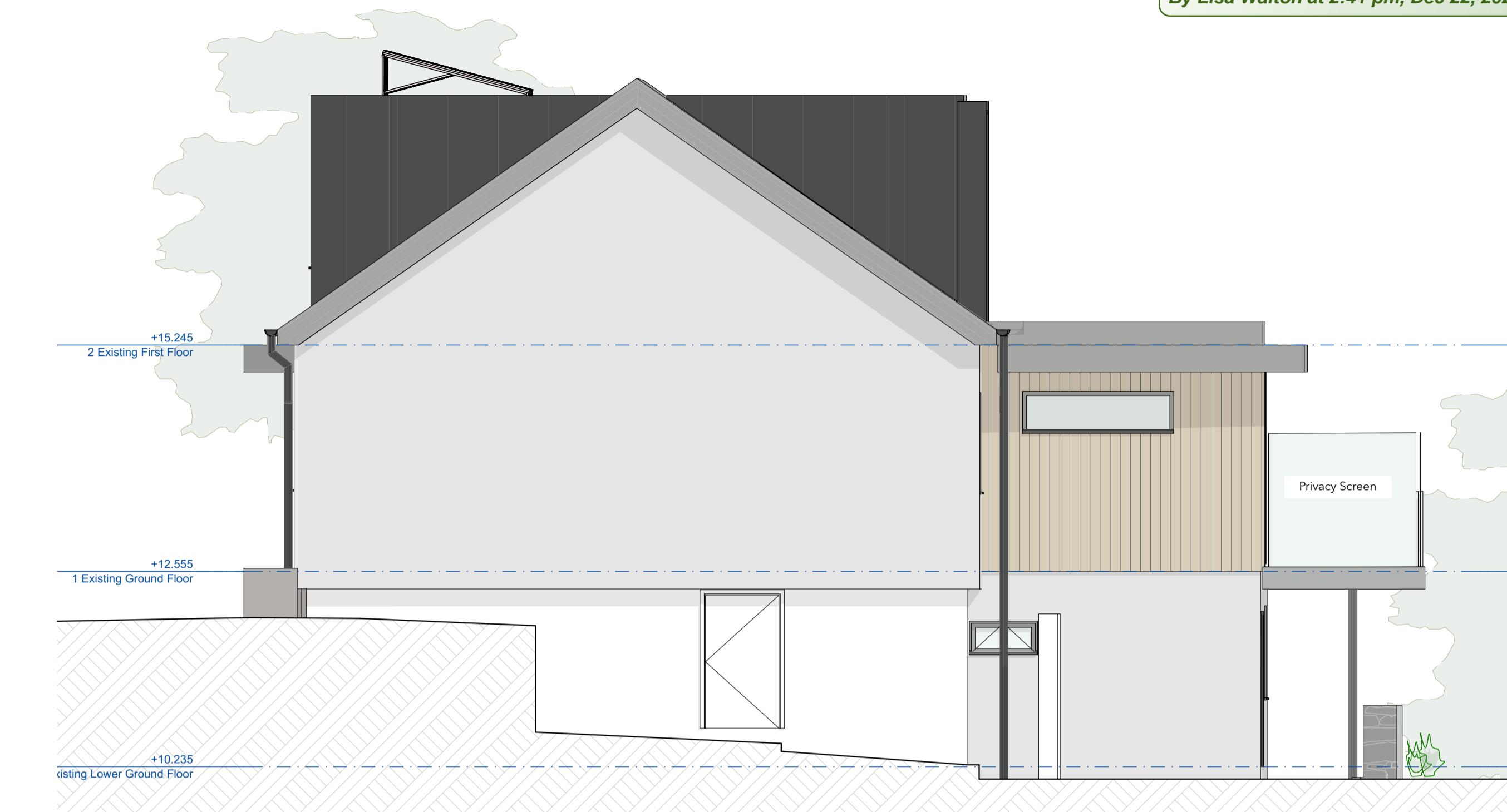
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1

South West Elevation
1:50



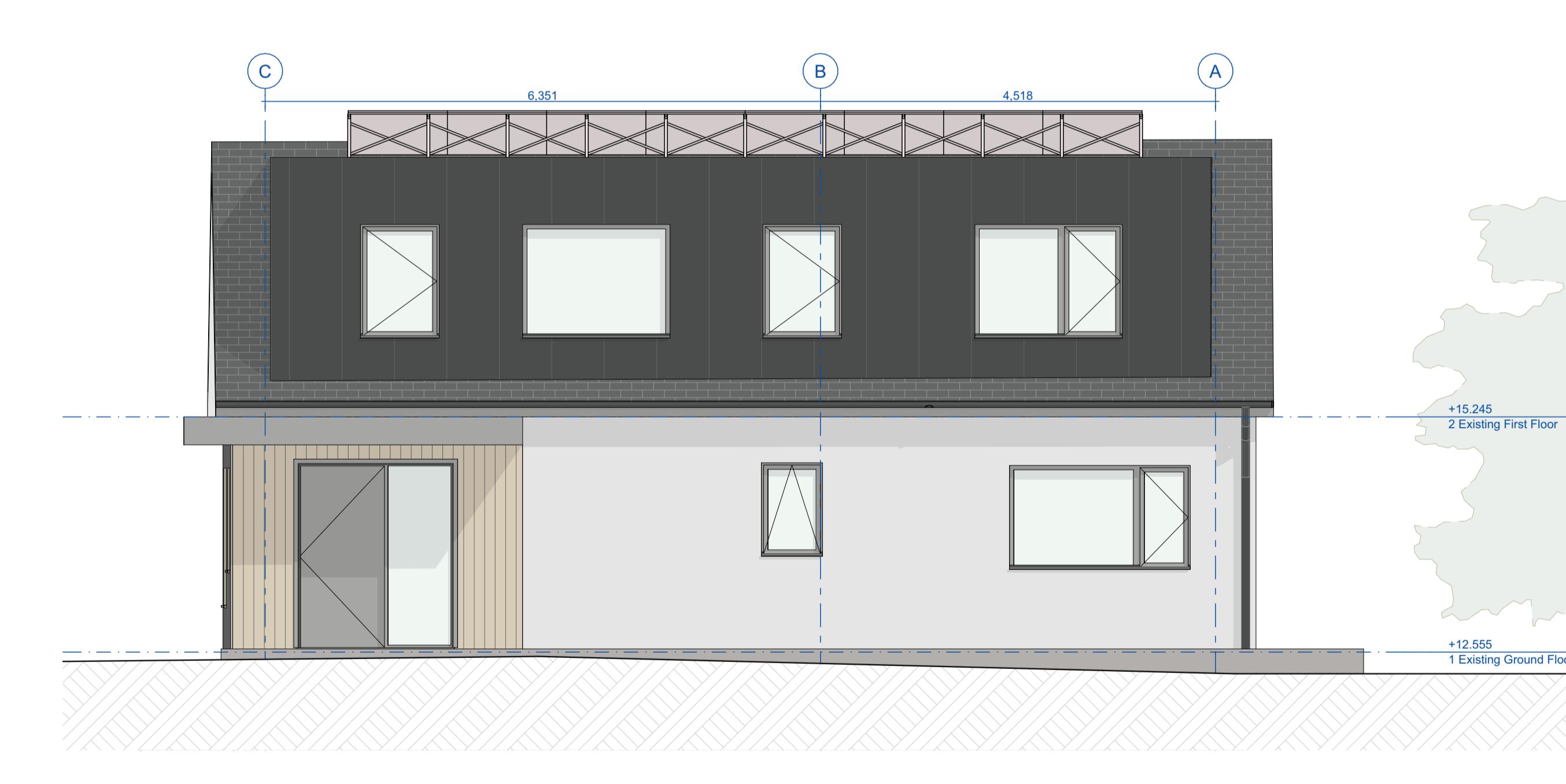
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North East Elevation
1:50



3

North West Elevation
1:50



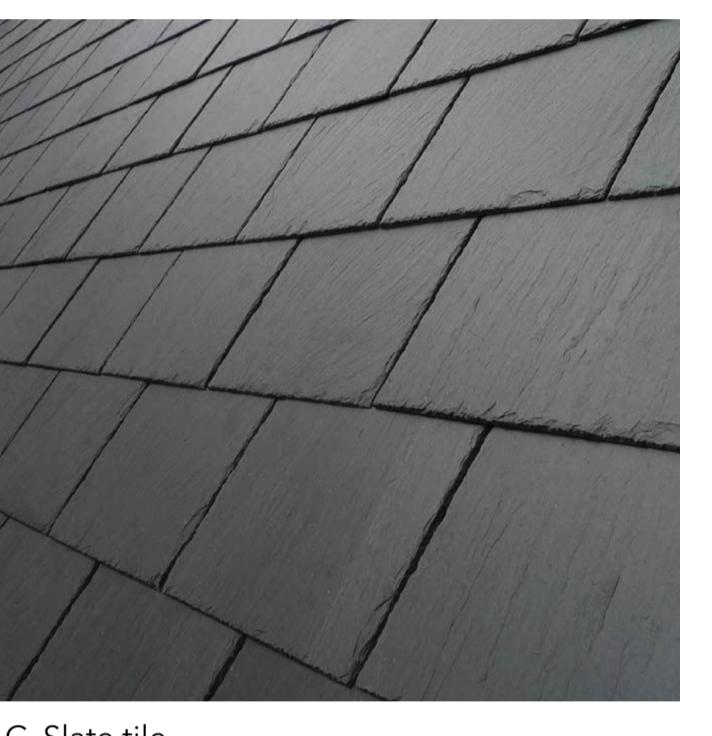
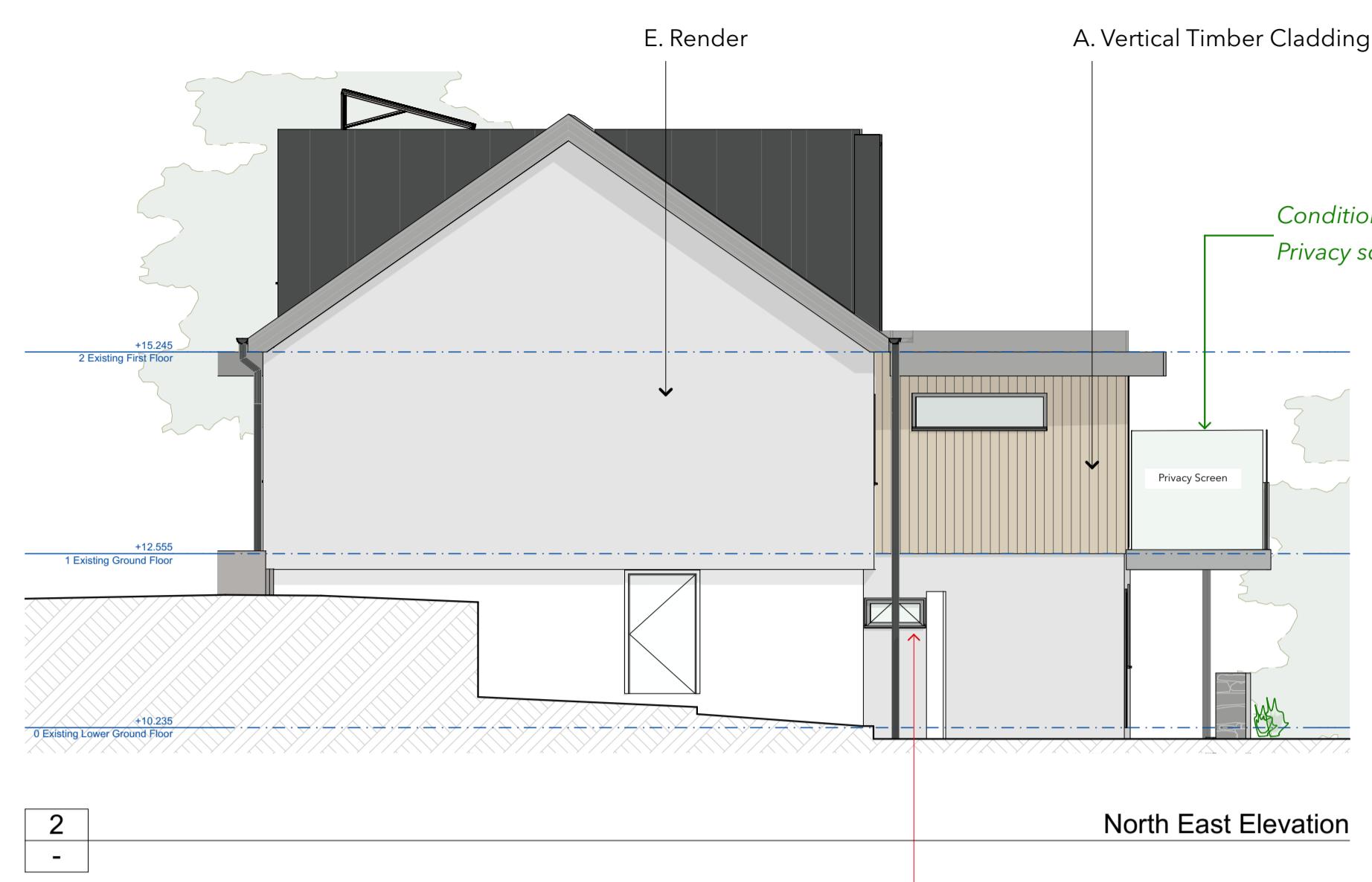
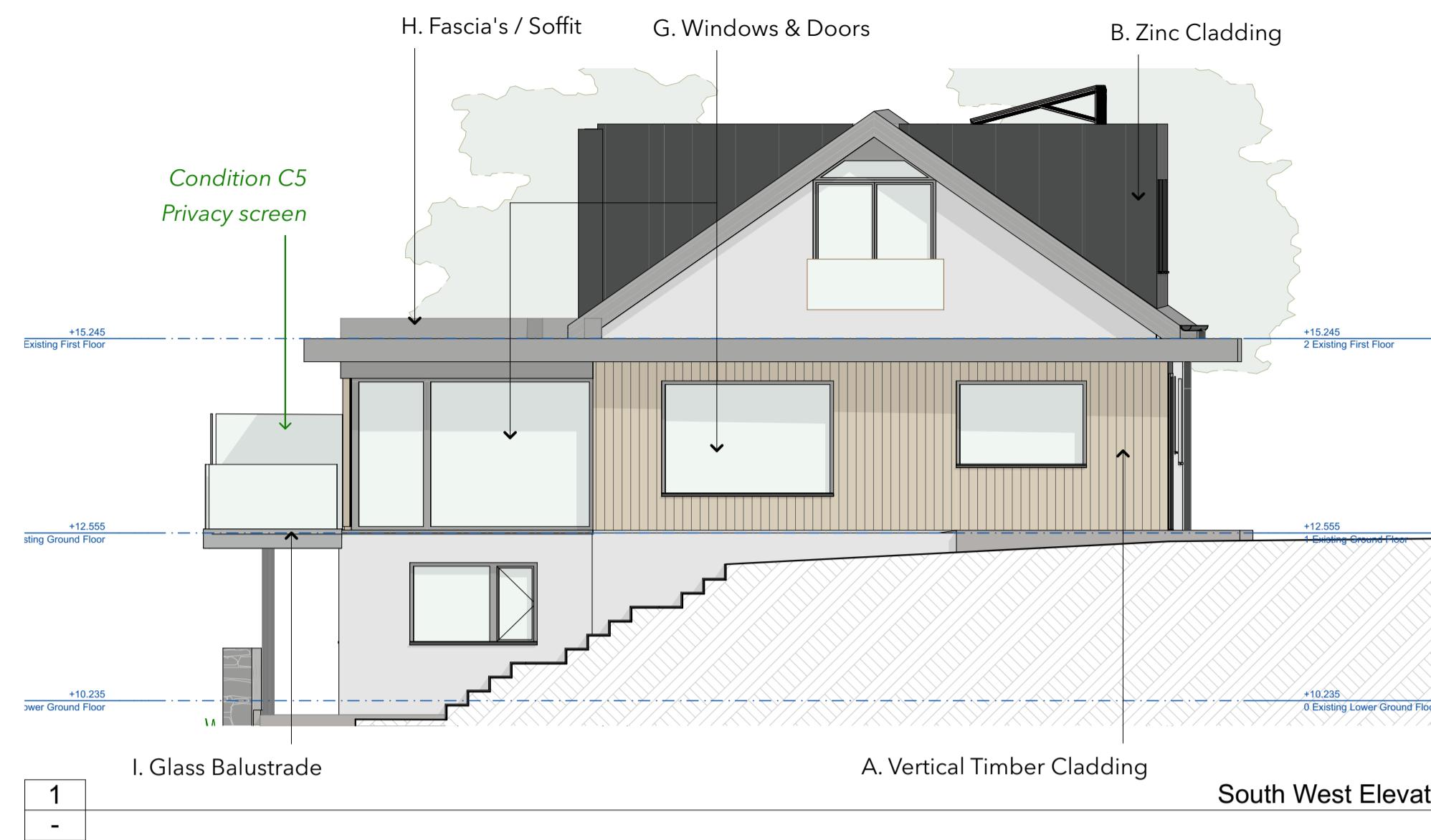
4

South East Elevation
1:50

Revisions	
A	23/01/25
B	29/01/25
C	07/02/25
D	29/03/25
E	24/06/25
F	20/08/25
G	04/09/25
H	17/11/25
I	16/12/25

Draft Issue
Revised layout at clients request
Revised layout clients request
Gated access window 14
Balustrade height to window W-14 added to drawing
Amendment to balcony
Added Wall type labels / missing existing doors
Brought up stone wall in North-west elevation. Amended transparency settings
Amended balcony length

Drawing Issued: 16/12/2025



Condition C5 - Privacy screen
Glass to be Pilkington Level 4
Height to be no less than 1.7m

PRE-COMMENCEMENT CONDITION: Submission of Balcony Screen details
C5 Prior to the commencement of the development, hereby approved, details of a privacy screen on the balcony shall be submitted to and agreed in writing by the Local Planning Authority. The agreed screen shall be installed, prior to first use of the balcony, and shall be permanently retained as approved thereafter.
Reason: To protect the amenities of the locality, including the amenities of neighbouring residential properties in accordance with Policy LC8(1) of the Isles of Scilly Local Plan (2015-2030).

PRE-COMMENCEMENT CONDITION: Submission of Facing Materials and Finishes
C3 Prior to the commencement of the development, hereby approved, a schedule of external materials finishes and samples to be used on the development shall be submitted to and approved in writing by the Local Planning Authority including windows and doors, timber cladding, stone cladding, roof materials, and glazed balustrades. Thereafter the development shall be carried out in full accordance with the approved schedule and samples.
Reason: To safeguard the appearance of the building and the character of the area and to enable the Local Planning Authority to properly consider the development. It is considered necessary of this to be a pre-commencement condition as these details need to be agreed prior to the construction of the development and thus go to the heart of the planning permission.



Revisions

PLANNING

APPROVED

By Lisa Walton at 2:42 pm, Dec 22, 2025

Drawing Issued: 17/12/2025

Notes

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